

LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF ITV ROAD AND AUTOSTRAD AREA
- CONCRETE PAVING WITH RULED LINES & NON SLIP BROOM FINISH OR SIMILAR
- CRUSHED ROCK TO FIRE TRUCK ACCESS TRACK
- AREA OF GRASS / LANDSCAPING. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS

- FN1 FENCE TYPE 1 - 2400MM HIGH BLACK PAINTED STEEL PALISADE TYPE FENCE - REFER TO DETAIL DA17
- FN2 FENCE TYPE 2 - 2100MM HIGH CHAIN MESH FENCE WITH 3 ROWS BARBED WIRE OVER TO 2400MM HIGH - REFER TO DETAIL DA17
- FN3 1800MM HIGH PERIMETER SCREEN CONSISTING OF GALVANISED STEEL POSTS AND POWDERCOATED ALUMINIUM SLATS - REFER TO DETAIL DA17
- FN4 FENCE TYPE 4 - 3000MM HIGH CHAIN MESH FENCE - REFER TO DETAIL DA17
- FST FIRE SPRINKLER TANK
- RMU RING MAIN UNIT
- RTW RETAINING WALL - REFER TO DETAIL DA17
- RWT RAINWATER TANK
- SUB ELECTRICAL SUBSTATION
- SL AUTOMATIC SLIDING GATE TO MATCH ADJACENT FENCE
- LLXX LOCATA POLE / WAP POLE
- DRAINAGE PIPE

NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL PARKING SPACES IN ACCORDANCE WITH VICTORIAN PLANNING SCHEME

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (Australian Height Datum)

DEVELOPMENT ANALYSIS WAREHOUSE 6

BUILDING	GFA
WAREHOUSE 6A	27,000m ²
WAREHOUSE 6B	27,000m ²
OFFICE 1	1,000m ²
DOCK OFFICE 1	60m ²
DOCK OFFICE 2	60m ²
TOTAL AREA	56,120m²

EXTERNAL AREAS (APPROX)

CANOPIES	2,607m ²
HARDSTAND	11,418m ²
CONTAINER INTERCHANGE	4,275m ²
LIGHT DUTY	6,753m ²
PAVING	1,310m ²
LANDSCAPE	3,215m ²
CRUSHED ROCK	34m ²

PARKING

WAREHOUSE RATE REQ. (1 PER 300m ² GLA)	180
OFFICE RATE REQUIRED (1 PER 40m ² GLA)	53
BAYS REQUIRED	233
BAYS PROVIDED	282
BICYCLE RACKS	28

SITE COVERAGE

TOTAL SITE AREA	87,301m ²
TOTAL BUILDING FOOTPRINT	55,120m ²
SITE COVERAGE	64.28%

DEVELOPMENT ANALYSIS WAREHOUSE 7

BUILDING	GFA
WAREHOUSE 7 STAGE 1	26,605m ²
WAREHOUSE 7 STAGE 2	26,900m ²
OFFICE 7A	1,500m ²
OFFICE 7B	726m ²
DOCK OFFICE 1	120m ²
DOCK OFFICE 2	120m ²
DOCK OFFICE 3	120m ²
TOTAL AREA	56,091m²

EXTERNAL AREAS (APPROX)

CANOPIES	3,876m ²
HARDSTAND	10,936m ²
CONTAINER INTERCHANGE	5,985m ²
LIGHT DUTY	7,167m ²
PAVING	1,124m ²
LANDSCAPE	3,501m ²
CRUSHED ROCK	67m ²

PARKING

WAREHOUSE RATE REQ. (1 PER 300m ² GLA)	178
OFFICE RATE REQUIRED (1 PER 40m ² GLA)	59
BAYS REQUIRED	237
BAYS PROVIDED	296
BICYCLE RACKS	28

SITE COVERAGE

TOTAL SITE AREA	92,826m ²
TOTAL BUILDING FOOTPRINT	55,865m ²
SITE COVERAGE	60.1%

NO.	DATE	REVISION	BY	CHK
P1	25.06.2021	PRELIMINARY ISSUE	TH	RJ
P2	05.07.2021	PRELIMINARY ISSUE	TH	RJ
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	17.11.2021	CLIENT APPROVAL ISSUE	TH	RJ
T3	20.07.2022	UDLP ISSUE	MH	RJ

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 A/CN: 111398700
 8 Grafton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

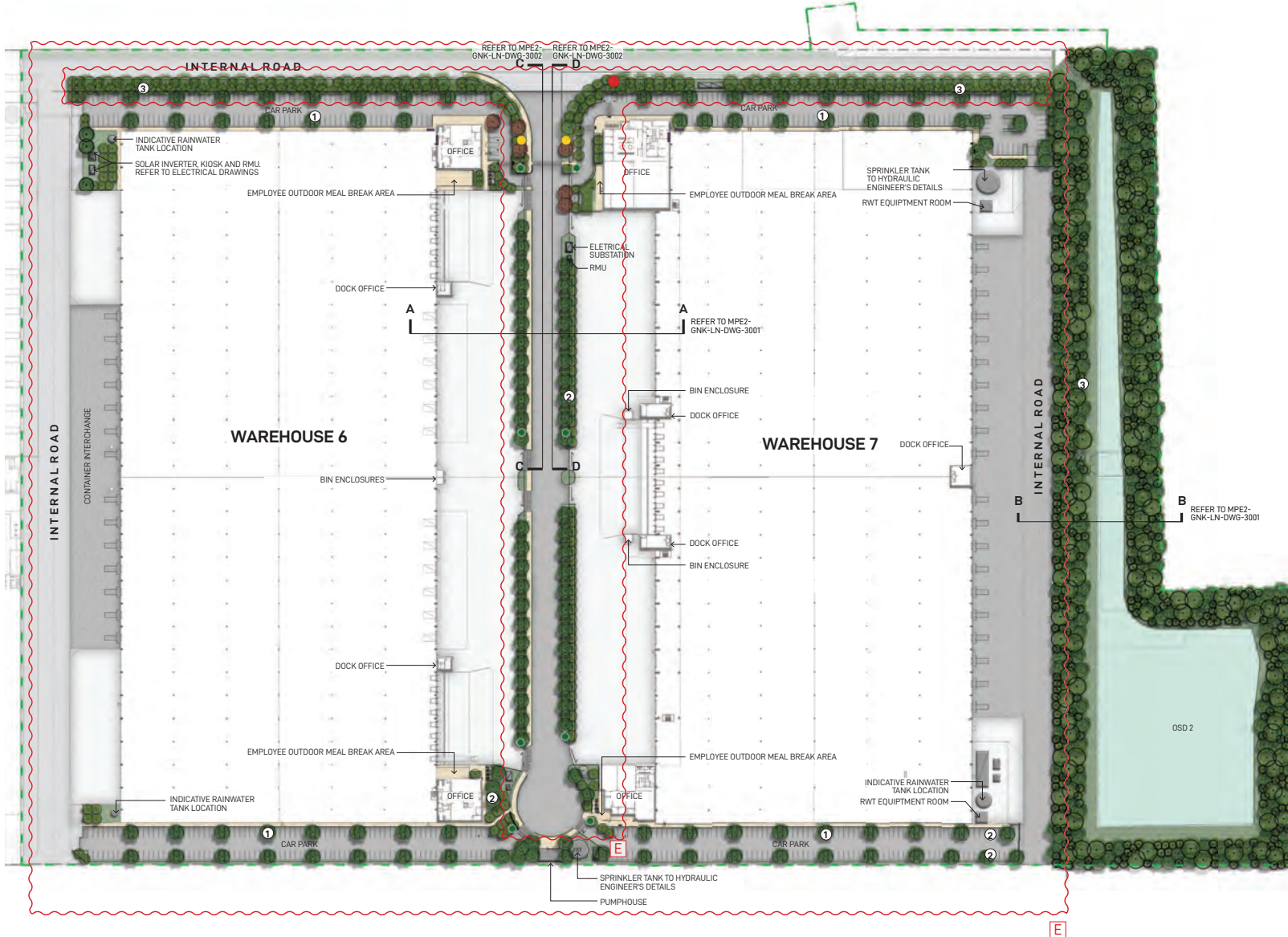
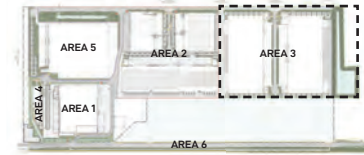
TITLE:
PROPOSED SITE PLAN & DEVELOPMENT ANALYSIS

CLIENT:

DATE: JUNE, 2021
 DRAWN BY: TH
 SCALE: 1 : 1000 @A1
 SCALE: 1 : 2000 @A3

JOB NO:
21232
 DRAWING NO: DA01
 REVISION: T3

KEY PLAN



LEGEND

- Area 3 Boundary
 - Hard Landscaping
 - Proposed Garden Bed
 - Proposed Canopy Trees
 - Proposed OSD
 - Type 1 Street Signage
 - Type 2 Tenant Identification Signage
 - Type 3 Direction Signage
 - Type 4 Corporate Signage
- 1 Proposed canopy tree planting in 2.5M carpark bays spaced at every 6-8 car spaces providing amenity and visual screening of proposed warehousing in accordance with condition b140(e)(iii) & b140(e)(vi)
- 2 Proposed enlarged parking bays
- 3 Proposed mix of native canopy trees and shrubs providing visual mitigation of proposed warehouses

NOTE
Elements shown in plans are indicative and are subject to final design

INDICATIVE TREE IMAGES



INDICATIVE SHRUB IMAGES



FOR COORDINATION

Landscape Architect
GROUND INK
Suite 201, 75 Archer St, Chatswood NSW 2067 Ph: (02) 9411 3279
www.groundink.com.au ABN 55 143 025 456 ACN 143 025 456
© Ground Ink Pty Ltd This design and drawing is protected by copyright.

Client
LOGOS
29-88 Phillip Street, Sydney NSW 2000
Ph: (02) 8197990
www.logosproperty.com.au

Architect
watson young
15 Blue Street, North Sydney NSW 2060
Ph: (02) 82290730
www.watsonyoung.com.au

Project Manager
ASPECT
Suite 107, 25 Solent Circuit
Baulkham Hills NSW 2153
Ph: 0429 535 535
http://aspectenvironmental.com.au/

Note
Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Figured dimensions to be taken in preference to scaled drawings. All work is to conform to relevant Australian standards and other codes as applicable. Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
Plant species and quantities shown are indicative only and are subject to change based on future project requirements.

Issue	Date	Description	Drawn	Checked
A	04.06.20	Issue for Coordination	KF	RL
B	02.08.20	Issue for Coordination	KF	RL
C	28.10.20	Issue for Coordination	KF	RL
D	14.12.20	Issue for Coordination	KF	RL
E	21.07.22	Issue for Coordination	WL	RL

Drawing Title
AREA 3 LANDSCAPE MASTERPLAN

Date: 21.07.22 Job Number: 20200421 Drawn: WL Checked: RL Drawing Number: MPE2-GNK-LN-DWG-3000
Project: **Morebank Precinct East**
Morebank Logistics Park, Morebank NSW
Scale: 1:1000 @ A1
0 5 10 15 20 25m
North
Rev: E

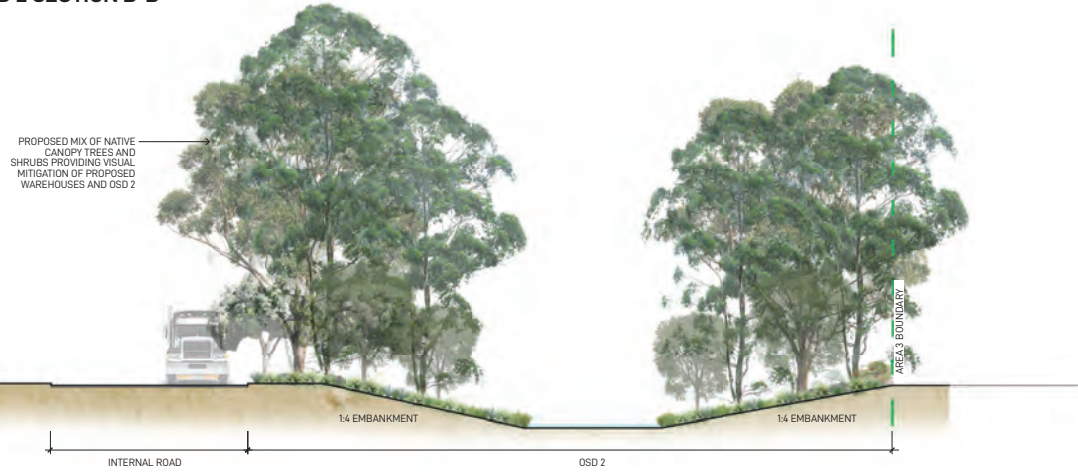
KEY PLAN



WAREHOUSE 6 & 7 INTERNAL ROAD SECTION A-A



OSD 2 SECTION B-B



E

Landscape Architect
GROUND INK
 Suite 201, 75 Archer St, Chatswood NSW 2067 Ph. (02) 9411 3279
 www.groundink.com.au ABN 55 163 025 456 ACN 163 025 456
 © Ground Ink Pty Ltd This design and drawing is protected by copyright.

Client
LOGOS
 29/88 Phillip Street, Sydney, NSW 2000
 Ph. (02) 81979900
 www.logosproperty.com.au

Architect
watson young
 15 Blue Street, North Sydney NSW 2060
 Ph. (02) 82290730
 www.watsonyoung.com.au

Project Manager
ASPECT
 Suite 107, 25 Solent Circuit
 Brookheim Hills NSW 2153
 Ph. 0429 555 535
 http://aspectenvironmental.com.au/

Note
 Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Figured dimensions to be taken in preference to scaled drawings.
 All work is to conform to relevant Australian standards and other codes as applicable.
 Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
 Plant species and quantities shown are indicative only and are subject to change based on future project requirements.

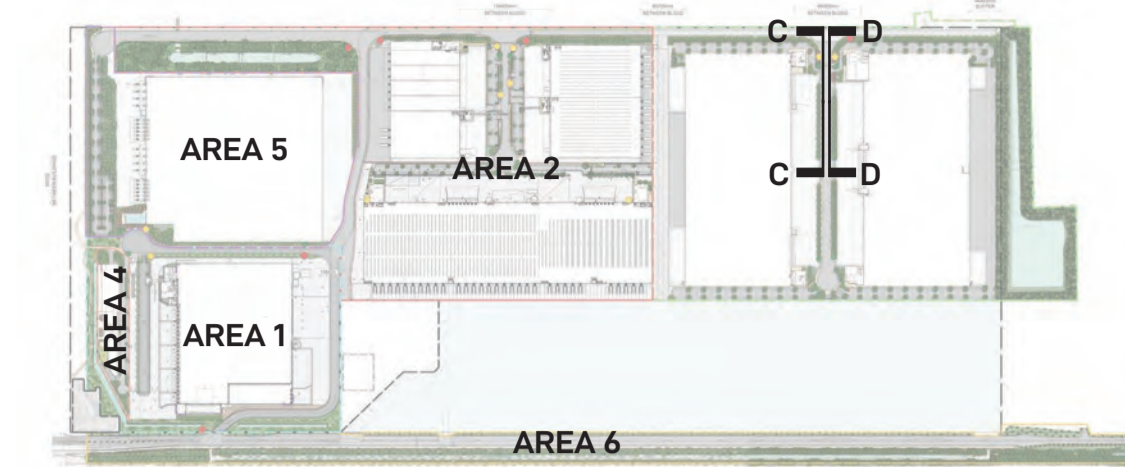
Issue	Date	Description	Drawn	Checked
A	04.06.22	Issue for Coordination	KF	RL
B	02.06.22	Issue for Coordination	KF	RL
C	28.05.22	Issue for Coordination	KF	RL
D	16.12.20	Issue for Coordination	KF	RL
E	21.07.22	Issue for Coordination	WL	RL

Drawing Title
**AREA 3
 LANDSCAPE SECTIONS**

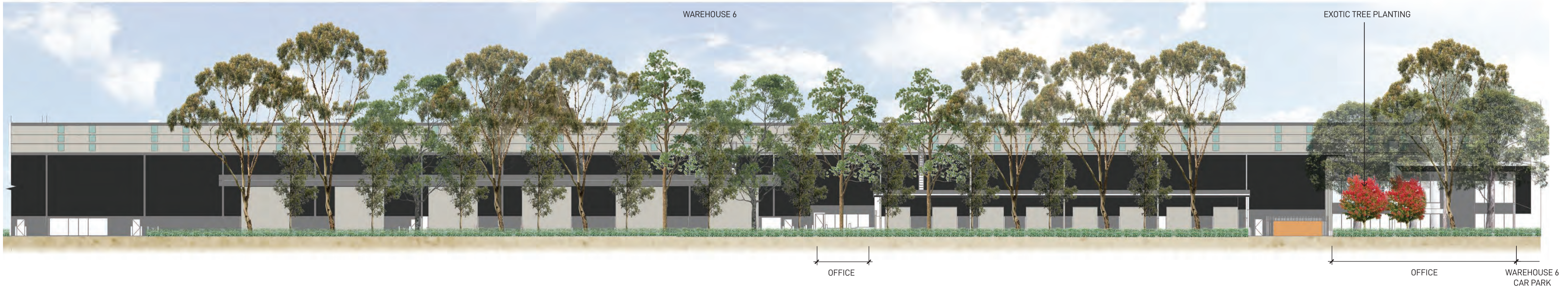
Date	Job Number	Drawn	Checked	Drawing Number
21.07.22	20200421	WL	RL	MPEZ-GNK-LN-DWS-3001
Project Moorebank Precinct East Moorebank Logistics Park, Moorebank NSW				
Scale: 1:200 @ A1				
0	1	2	3	4
1	1	1	1	1
				Rev E

FOR COORDINATION

KEY PLAN



WAREHOUSE 6 SOUTH ELEVATION C-C



WAREHOUSE 7 NORTH ELEVATION D-D



E

FOR COORDINATION

Landscape Architect
GROUND INK
 Suite 201, 75 Archer St, Chatswood NSW 2067 Ph. (02) 9411 3279
 www.groundink.com.au ABN 55 163 025 456 ACN 163 025 456
 © Ground Ink Pty Ltd This design and drawing is protected by copyright.

Client
LOGOS
 29/88 Phillip Street, Sydney, NSW 2000
 Ph. (02) 81973900
 www.logosproperty.com.au

Architect
watson young
 15 Blue Street, North Sydney NSW 2060
 Ph. (02) 83290730
 www.watsonyoung.com.au

Project Manager
ASPECT
 Suite 117 / 25 Solent Circuit
 Baulkham Hills NSW 2153
 Ph. 0409 515 535
 http://aspectenvironmental.com.au/

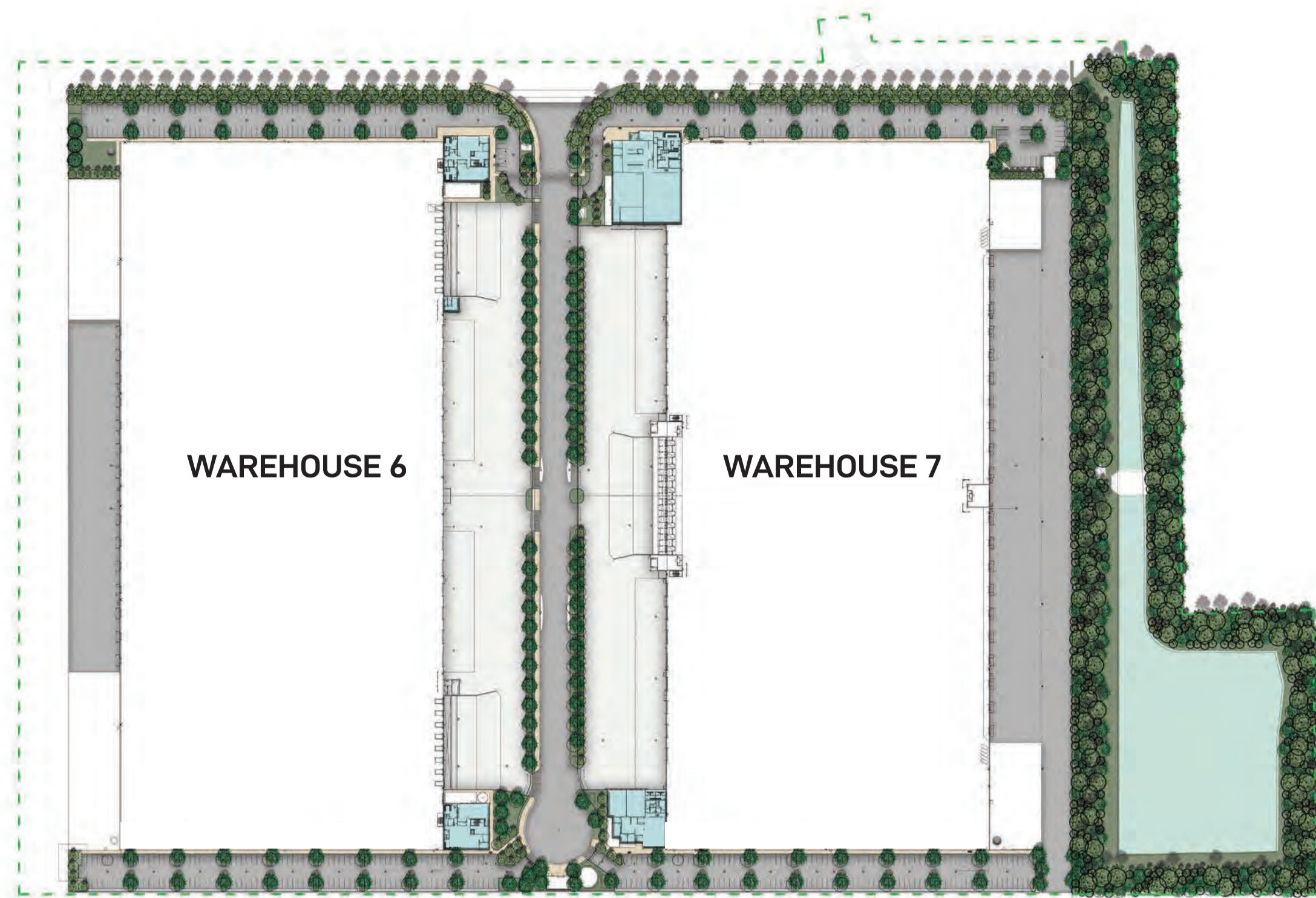
Note
 Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Figured dimensions to be taken in preference to scaled drawings.
 All work is to conform to relevant Australian standards and other codes as applicable.
 Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
 Plant species and quantities shown are indicative only and are subject to change based on future project requirements.

Issue	Date	Description	Drawn	Checked
A	04.04.20	Issue for Coordination	KF	RL
B	28.10.20	Issue for Coordination	KF	RL
C	28.10.20	Issue for Coordination	KF	RL
D	16.12.20	Issue for Coordination	KF	RL
E	21.07.22	Issue for Coordination	WL	RL

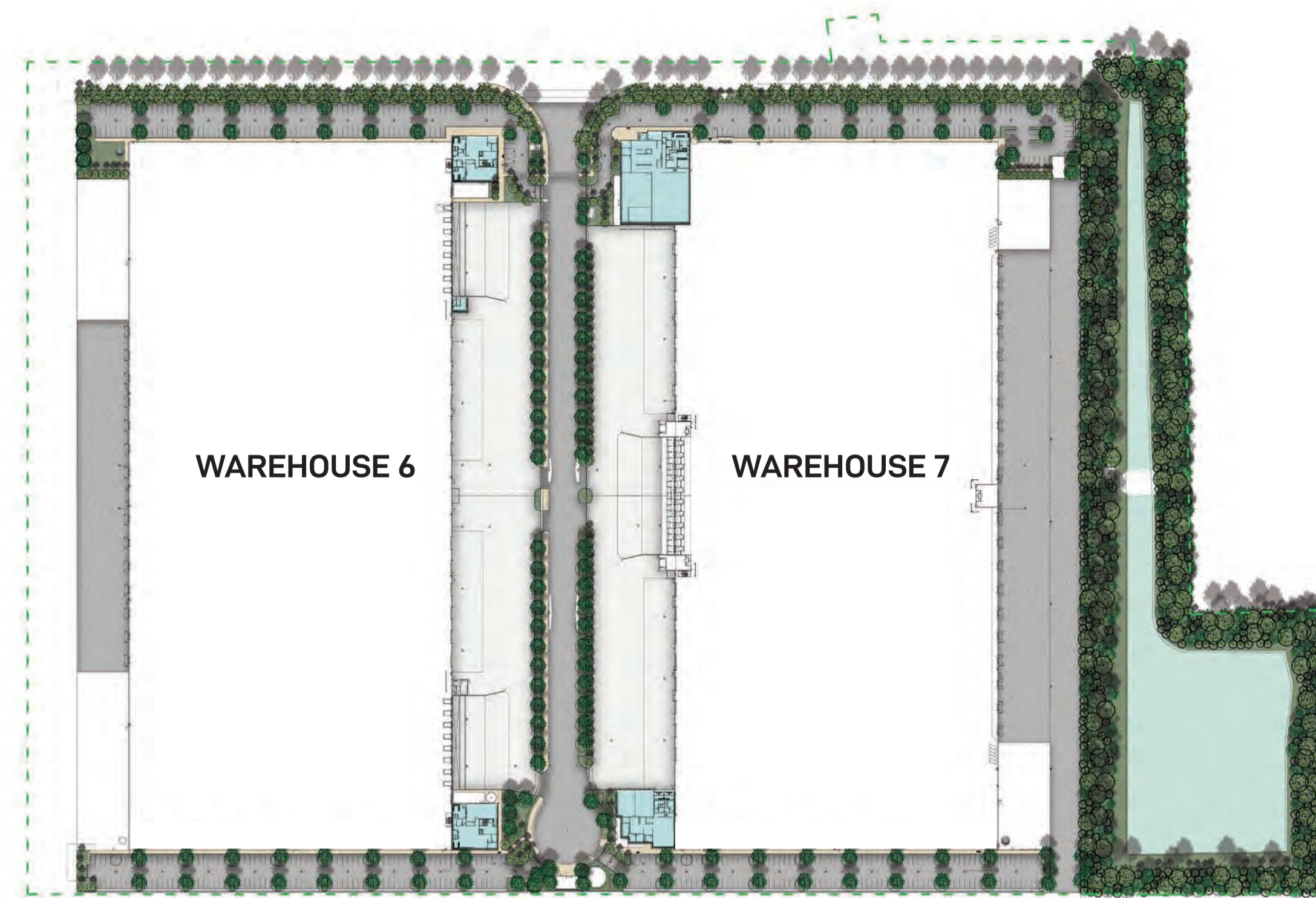
Drawing Title
**AREA 3
 LANDSCAPE ELEVATIONS**

Date	Job Number	Drawn	Checked	Drawing Number
21.07.22	20200421	WL	RL	MPE2-GNK-LN-DWG-3002
Project Moorebank Precinct East Moorebank Logistics Park, Moorebank NSW				
Scale 1:200 @ A1				Rev
0	1	2	3	4
5	6	7	8	m
				E

DECEMBER 22ND 3PM



ANTICIPATED TREE GROWTH 5 YEARS AFTER INSTALLATION

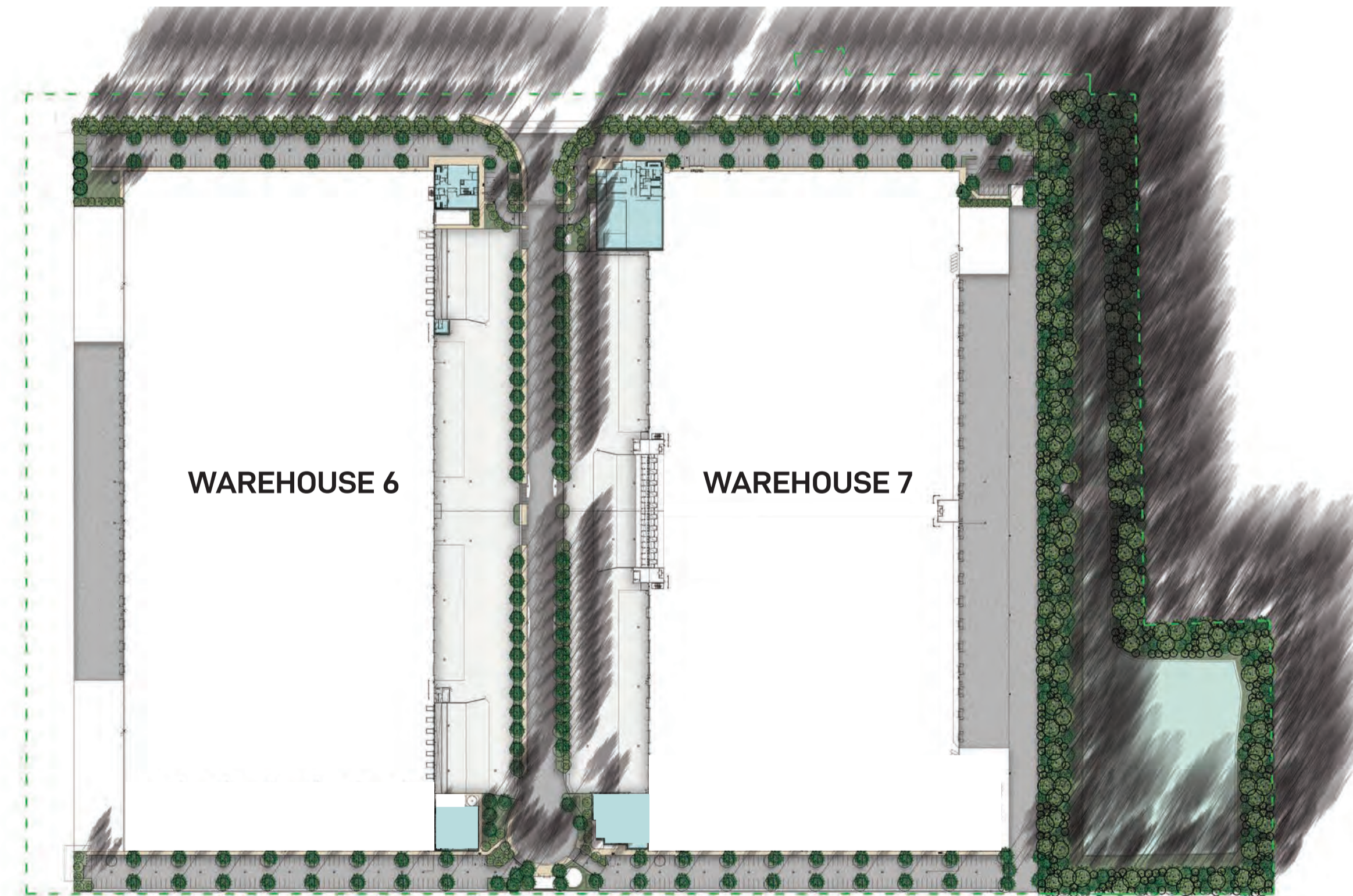


ANTICIPATED TREE GROWTH 15 YEARS AFTER INSTALLATION

JULY 22ND 3PM



ANTICIPATED TREE GROWTH 5 YEARS AFTER INSTALLATION



ANTICIPATED TREE GROWTH 15 YEARS AFTER INSTALLATION

NOTE
The final height of the proposed trees may differ from those indicated and will be dependent on environmental factors, installation size, and the implementation of an appropriate maintenance regime which is subject to future specifications. Refer to Architect's details for building shade diagram

FOR COORDINATION

Landscape Architect
GROUND INK
Suite 201, 75 Archer St, Chatswood NSW 2067 Ph. (02) 9411 3279
www.groundink.com.au ABN 55 163 025 456 ACN 163 025 456
© Ground Ink Pty Ltd This design and drawing is protected by copyright.

Client
LOGOS
29/88 Phillip Street, Sydney, NSW 2000
Ph. (02) 81973900
www.logosproperty.com.au

Architect
watson young
15 Blue Street, North Sydney NSW 2060
Ph. (02) 83290730
www.watsonyoung.com.au

Project Manager
ASPECT
Suite 117 / 25 Solent Circuit
Baulkham Hills NSW 2153
Ph. 0409 515 535
http://aspectenvironmental.com.au/

Note
Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Figured dimensions to be taken in preference to scaled drawings.
All work is to conform to relevant Australian standards and other codes as applicable.
Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
Plant species and quantities shown are indicative only and are subject to change based on future project requirements.

Issue	Date	Description	Drawn	Checked
A	04.04.20	Issue for Coordination	KF	RL
B	28.10.20	Issue for Coordination	KF	RL
C	28.10.20	Issue for Coordination	KF	RL
D	16.12.20	Issue for Coordination	KF	RL
E	21.07.22	Issue for Coordination	WL	RL

Drawing Title
AREA 3 LANDSCAPE SHADOW DIAGRAMS

Date	Job Number	Drawn	Checked	Drawing Number
21.07.22	20200421	WL	RL	MPE2-GNK-LN-DWG-3003

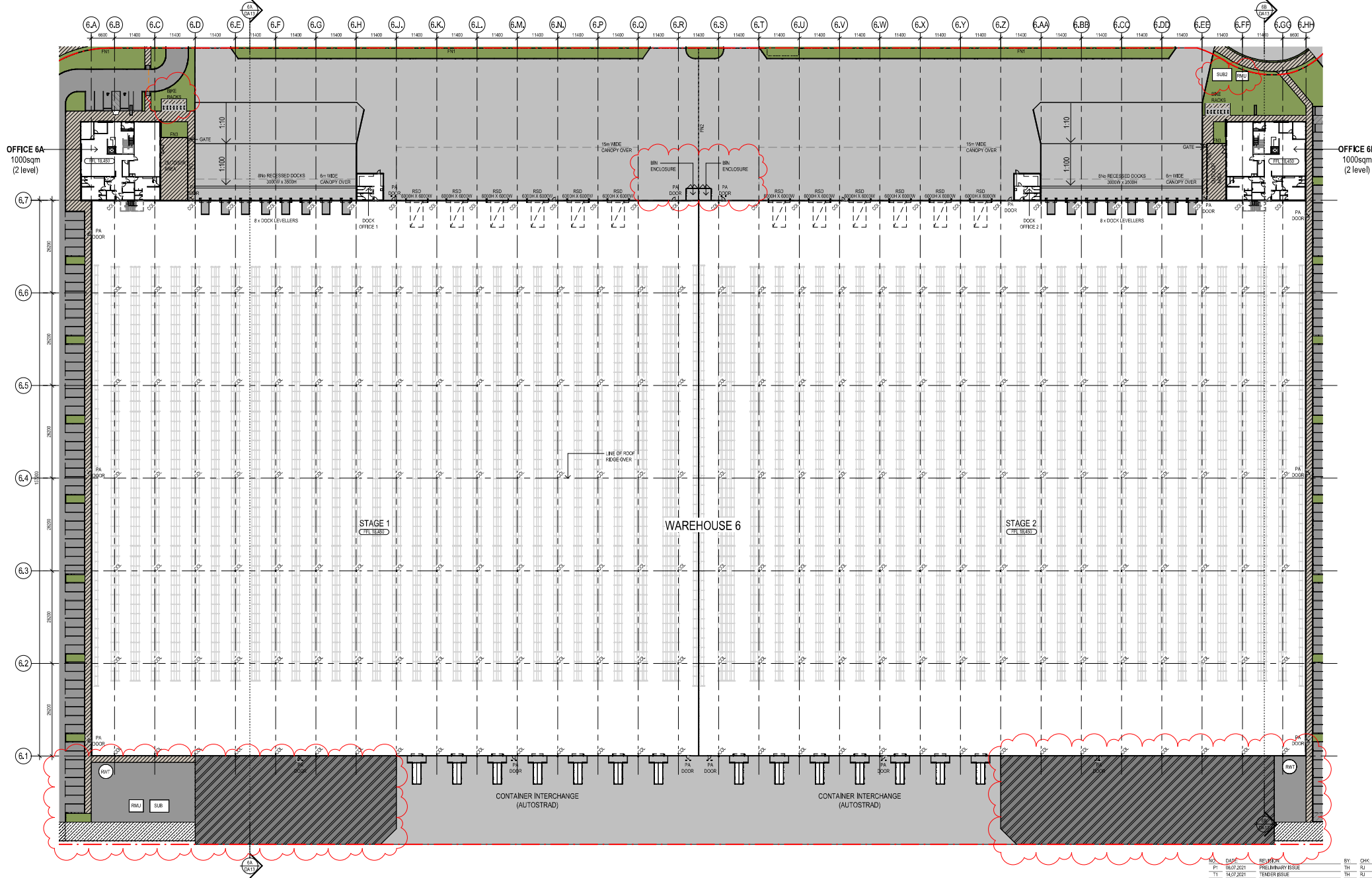
Project
Moorebank Logistics Park, Moorebank NSW

Scale
NOT TO SCALE

Rev
E

OFFICE 6A
1000sqm
(2 level)

OFFICE 6B
1000sqm
(2 level)



NO.	DATE	REVISION	BY	CHK.
PI	06.07.2021	PRELIMINARY ISSUE	TH	RU
TI	14.07.2021	TENDER ISSUE	TH	RU
TC	20.07.2022	USER ISSUE	MR	RU

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual purposes. It is not intended to be a final design or construction document.
 Watson Young Architects Pty. Ltd. (Australia) Pty. Ltd. (Vic) (NSW) (Qld) (WA) (NT) (ACT) (Tas) (SA) (NT) (ACT) (Tas) (SA)
 11 Water Street, Moorebank NSW 2170. Australia. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
WAREHOUSE 6 - GROUND FLOOR PLAN

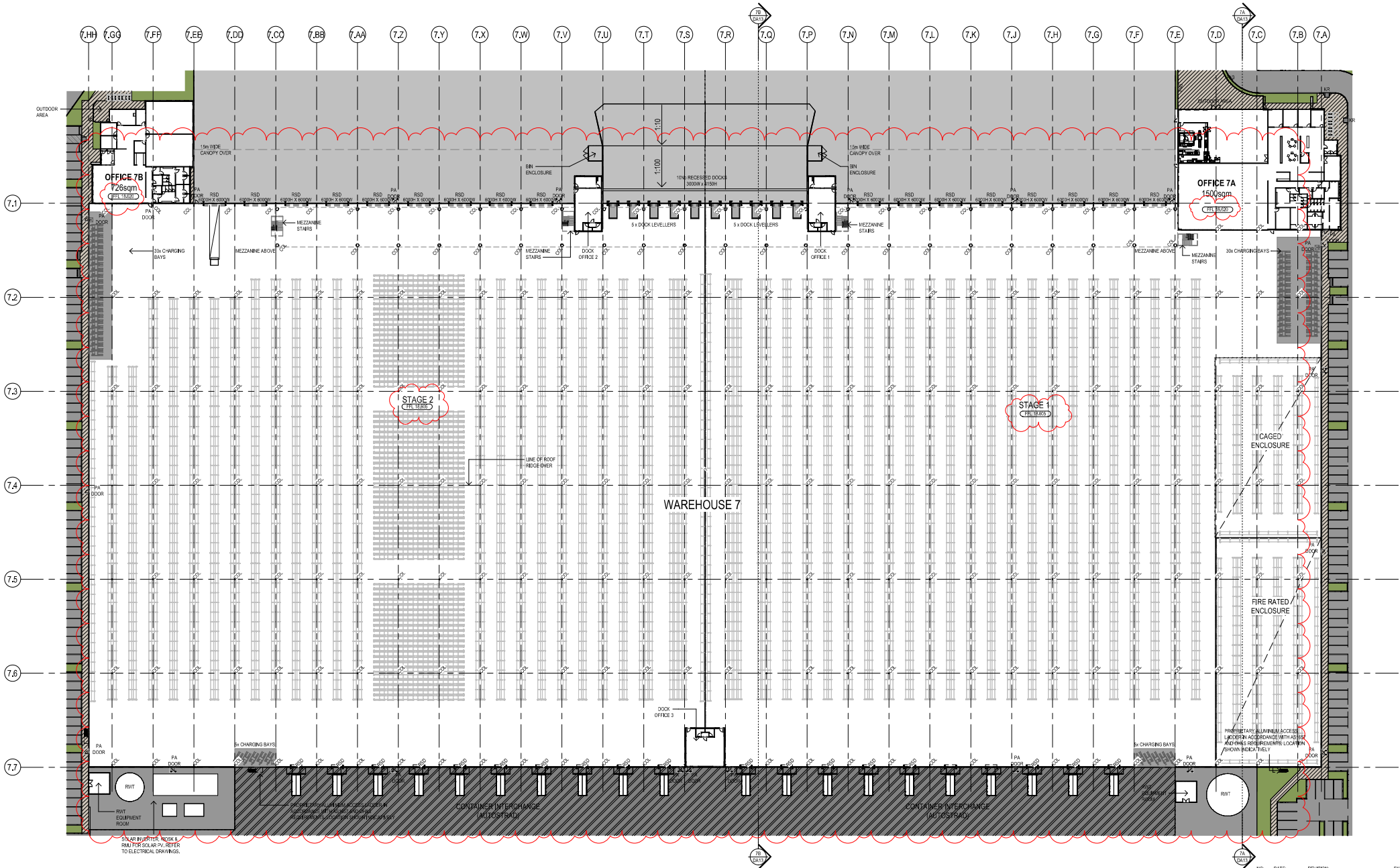


CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: 1:500 @A1
 SCALE: 1:1000 @A3

JOINT NO: 21232
 DRAWING NO: DA02
 SHEET NO: T2





NO.	DATE	REVISION	BY	CHK.
P1	08.07.2021	PRELIMINARY ISSUE	TH	RU
T1	14.07.2021	TENDER ISSUE	TH	RU
T2	19.09.2021	CLIENT APPROVAL ISSUE	TH	RU
T3	17.11.2021	CLIENT APPROVAL ISSUE	TH	RU
T4	20.07.2022	UCLP ISSUE	MM	RU

All areas indicated are indicative for design purposes only and should not be used for any construction purposes without verification by a licensed engineer or other design professional being consulted.
 Watson Young Architects Pty. Ltd. (Australia) Pty. Ltd. 02 8018 0000. A01 11139199
 11 Moorebank Parkway, Moorebank NSW 2232. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
WAREHOUSE 7 - GROUND FLOOR PLAN

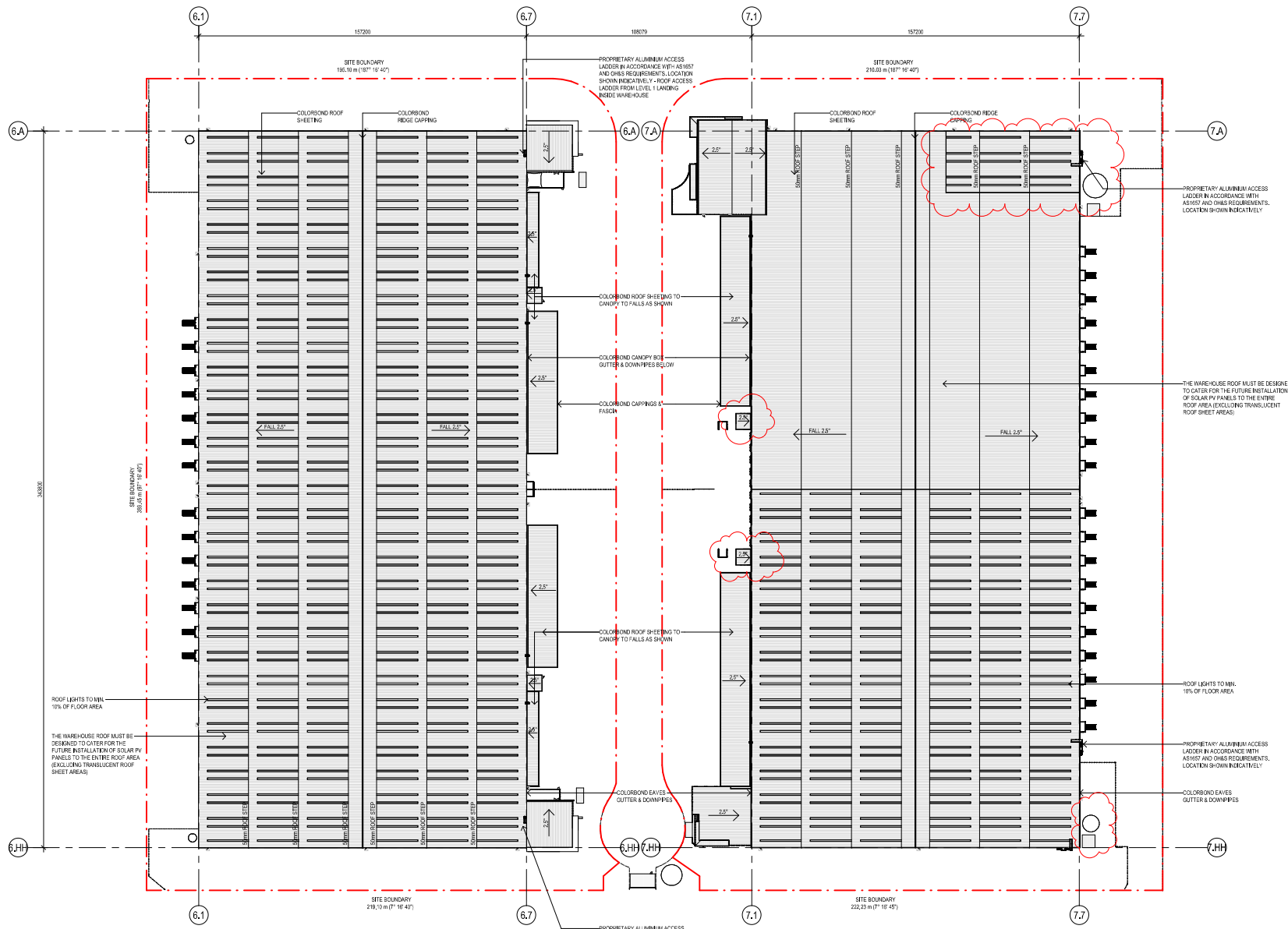


CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: TH
 SCALE: 1:500 @A1
 SCALE: 1:1000 @A3

JOB NO: 21232
 DRAWING NO: DA03
 SHEET NO: T4





ROOF LIGHTS TO MIN. 10% OF FLOOR AREA

THE WAREHOUSE ROOF MUST BE DESIGNED TO CATER FOR THE FUTURE INSTALLATION OF SOLAR PV PANELS TO THE ENTIRE ROOF AREA (EXCLUDING TRANSCULENT ROOF SHEET AREAS)

THE WAREHOUSE ROOF MUST BE DESIGNED TO CATER FOR THE FUTURE INSTALLATION OF SOLAR PV PANELS TO THE ENTIRE ROOF AREA (EXCLUDING TRANSCULENT ROOF SHEET AREAS)

ROOF LIGHTS TO MIN. 10% OF FLOOR AREA

PROPRIETARY ALUMINUM ACCESS LADDERS IN ACCORDANCE WITH AS1857 AND GAS REQUIREMENTS, LOCATION SHOWN INDICATIVELY

COLORBOND EAVES GUTTER & DOWNPIPES

NO.	DATE	REVISION	BY	CHK.
P1	08.07.2021	PRELIMINARY ISSUE	TH	RU
T1	14.07.2021	TENDER ISSUE	TH	RU
T2	17.11.2021	CLIENT APPROVAL ISSUE	TH	RU
T3	20.07.2022	LOSP ISSUE	MM	RU

All areas indicated are indicative to design only (drawing process only) and should not be used for any construction without verification by licensed engineer or other design professional.
 Watson Young Architects Pty. Ltd. (Australia) [Private] Company. © 2018-2022. A/CN 111397959
 10 Moorebank Parkway, St. 2/101 2222 Moorebank NSW 2282, Australia
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
OVERALL ROOF PLAN

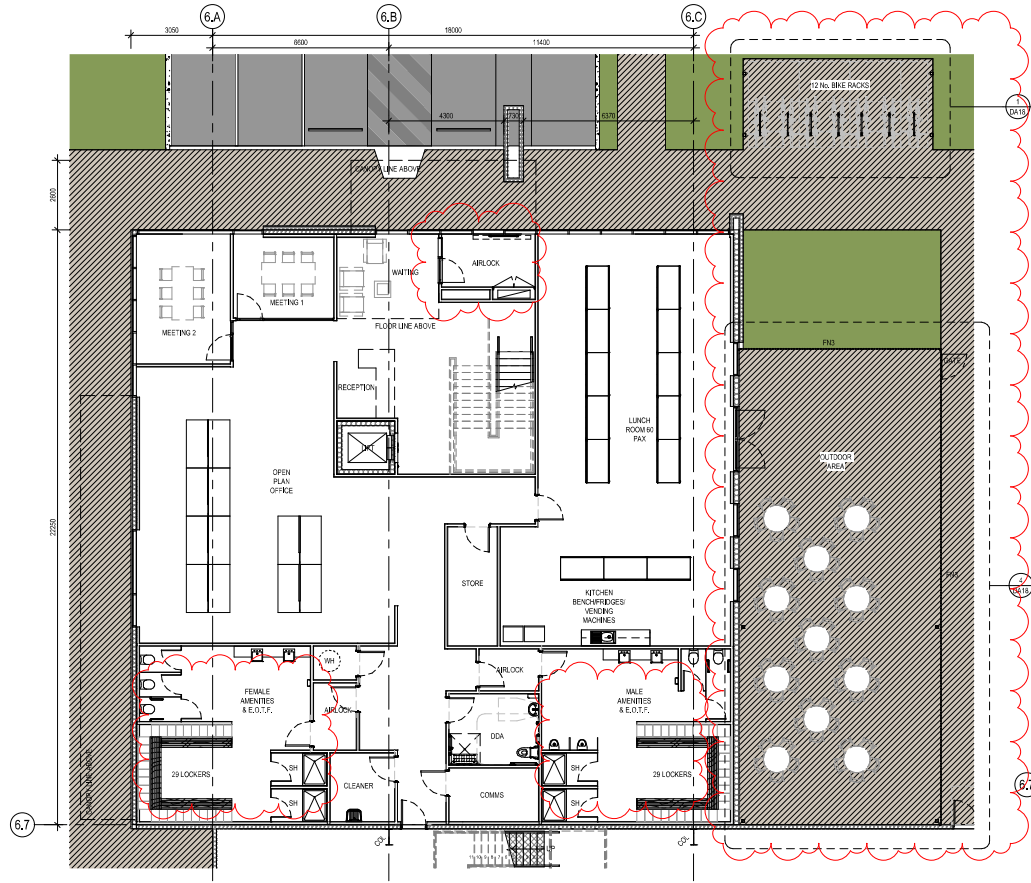


CLIENT:
LOGOS

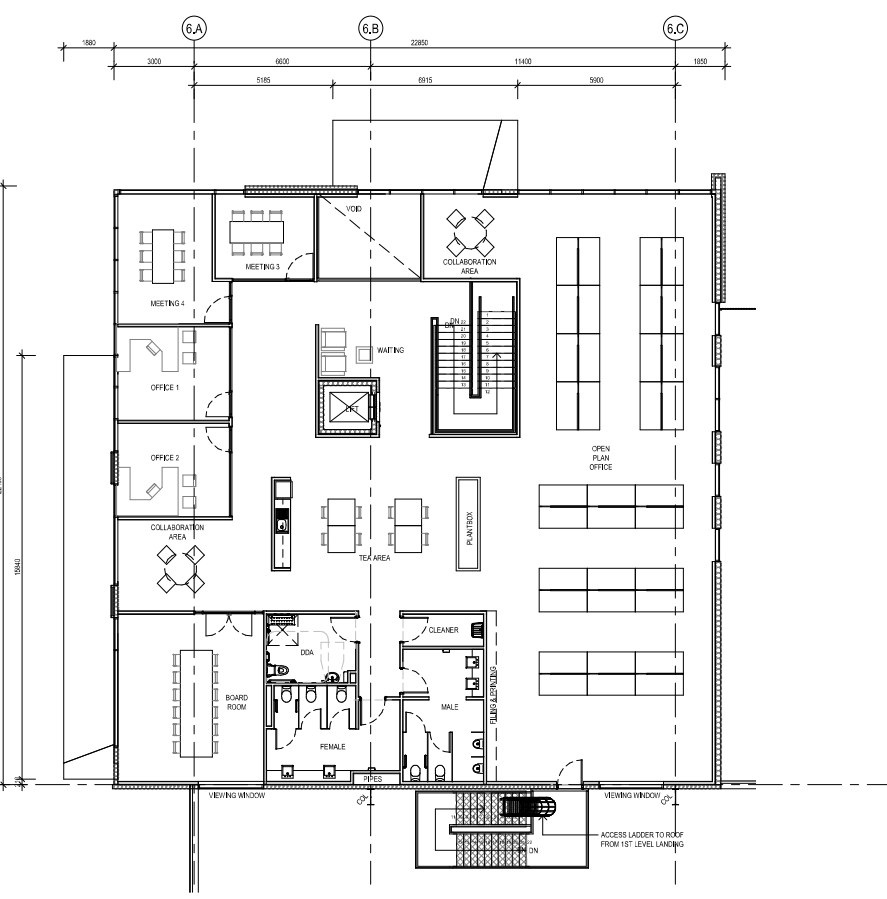
DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: 1:1000 @A1
 SCALE: 1:2000 @A3

JOB NO: 21232
 DRAWING NO: DA04
 REV: T3

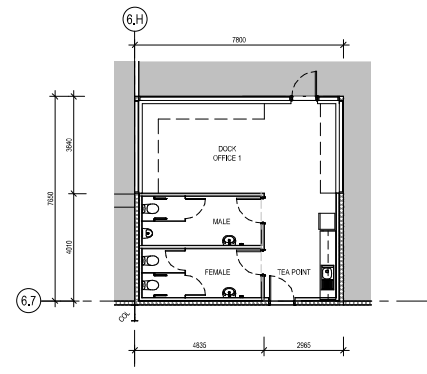




WH6 STAGE 1 - OFFICE GF
SCALE: 1:100



WH6 STAGE 1 - OFFICE FF
SCALE: 1:100



WH6 DOCK OFFICE 1
SCALE: 1:100

NO.	DATE	REVISION	BY	CHK.
P1	08.07.2021	PRELIMINARY ISSUE	TH	RJ
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	20.07.2021	LOEP ISSUE	MR	RJ

All areas indicated are indicative for design only. Drawing process only and should not be used for any contractual reasons without verification by a licensed engineer or other design professional being completed.
 Watson Young Architects Pty. Ltd. (Australia) [Pty] Limited. © 2021 0000. A/CN. 11139700
 10 Market Street, Sydney NSW 2000. 02 9232 2222. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
WAREHOUSE 6 STAGE 1 -
OFFICE & E.O.T.F. FLOOR
PLANS

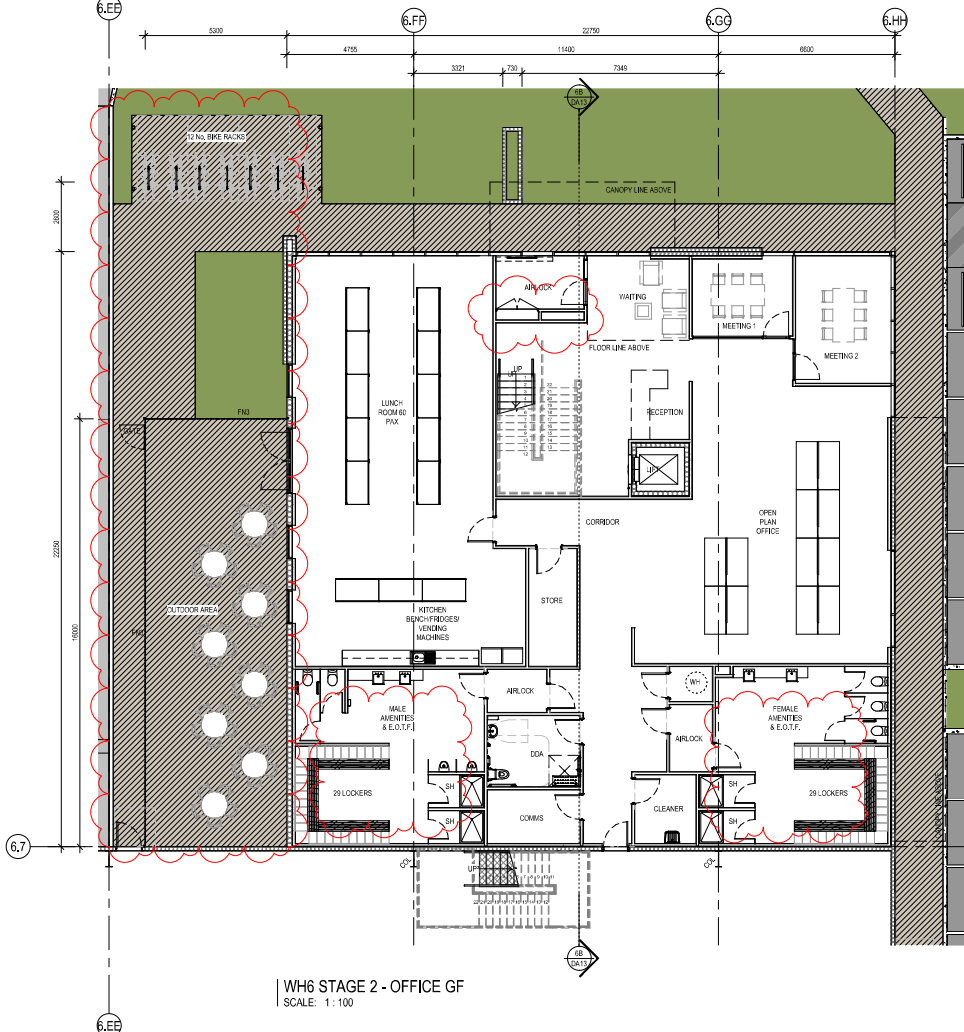


CLIENT:
LOGOS

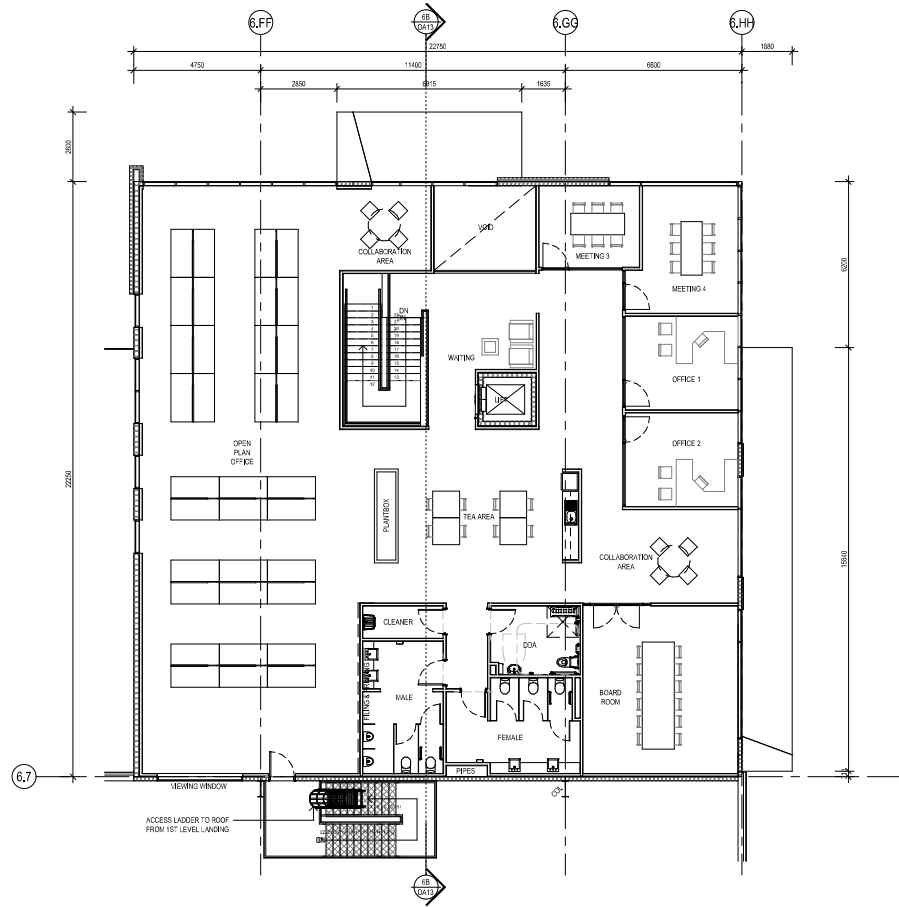
DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: 1:100 @A1
 SCALE: 1:200 @A3

JOINT NO: 21232
 DRAWING NO: DA05
 REVISED: T2

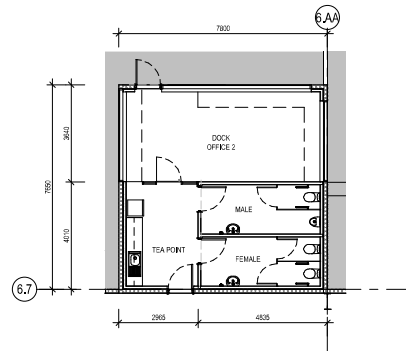




WH6 STAGE 2 - OFFICE GF
SCALE: 1:100



WH6 STAGE 2 - OFFICE FF
SCALE: 1:100



WH6 DOCK OFFICE 2
SCALE: 1:100

NO.	DATE	REVISION	BY	CHK.
PT	08.07.2021	PRELIMINARY ISSUE	TH	RJ
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	20.07.2022	LOEP ISSUE	MR	RJ

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed engineer or other design professional being completed.
 Watson Young Architects Pty. Ltd. (Australia) Pty. Ltd. (Vic) 02 9591 8900. ACN: 111398799
 10 Water Street, Moorebank NSW 2220. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
**WAREHOUSE 6 STAGE 2 -
 OFFICE & E.O.T.F. FLOOR
 PLANS**

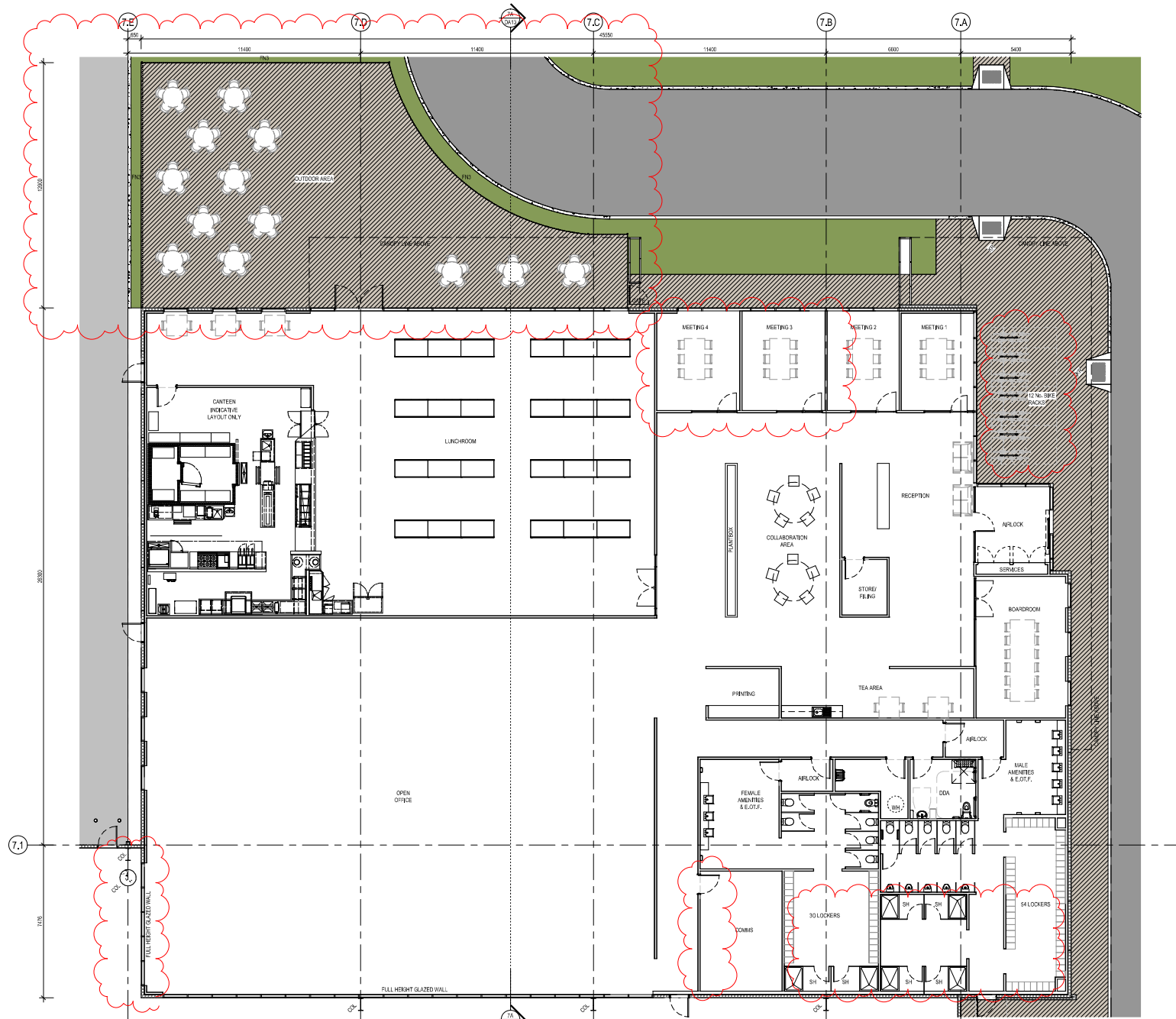


CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: 1:100 @A1
 SCALE: 1:200 @A3

JOB NO: 21232
 DRAWING NO: DA06
 REV: T2

watson young



WH7 STAGE 1 - OFFICE GF
SCALE: 1:100

NO.	DATE	REVISION	BY	CHK.
P1	08.07.2021	PRELIMINARY ISSUE	TH	RJ
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	19.09.2021	CLIENT APPROVAL ISSUE	TH	RJ
T3	20.07.2022	LOAIP ISSUE	MM	RJ

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual purposes without verification by a licensed surveyor or further design development being completed.
 Watson Young Architects Pty. Ltd. (Australia) [Pty] Limited. © 2018-2022. ACN 111397959
 10 Water Tower Place, Sydney NSW 2000. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
WAREHOUSE 7 STAGE 1 -
OFFICE & E.O.T.F. FLOOR
PLAN

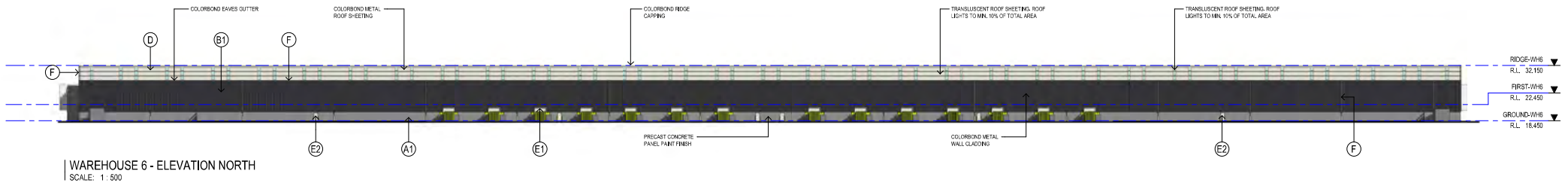


CLIENT:
LOGOS

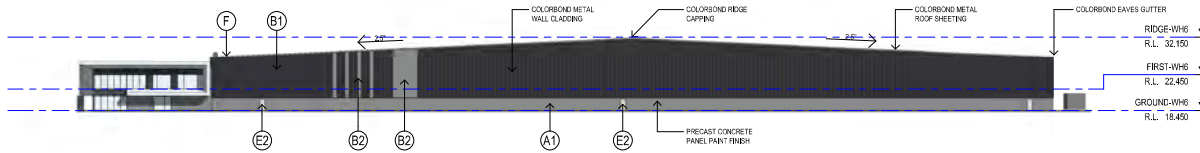
DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: 1:100 @A1
 SCALE: 1:200 @A3

JOINT NO.	21232
DESIGN NO.	DA07
REVISED	T3

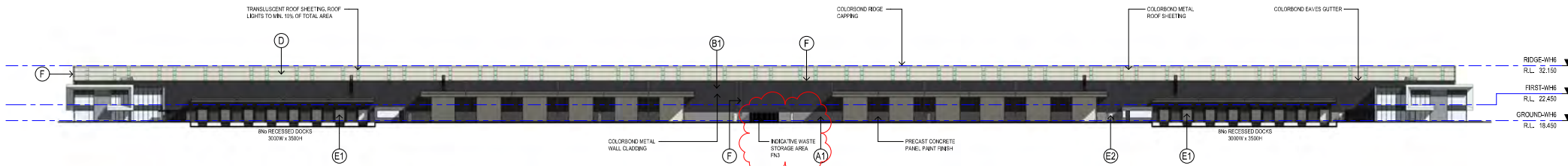




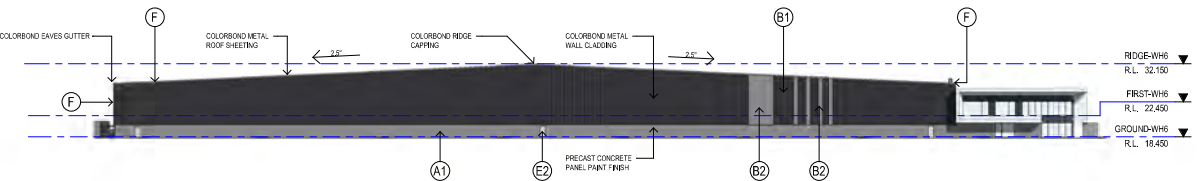
WAREHOUSE 6 - ELEVATION NORTH
SCALE: 1 : 500



WAREHOUSE 6 - ELEVATION EAST
SCALE: 1 : 500



WAREHOUSE 6 - ELEVATION SOUTH
SCALE: 1 : 500



WAREHOUSE 6 - ELEVATION WEST
SCALE: 1 : 500

EXTERNAL FINISHES

- (A1) PRECAST CONCRETE PANEL, FLAT PAINT COLORBOND WINDSPRAY
- (A2) PRECAST CONCRETE PANEL TEXTURED FINISH NATURAL FINISH
- (A3) PRECAST CONCRETE PANEL, FLAT PAINT MAINFREIGHT BLUE
- (B1) COLORBOND WALL CLADDING COLORBOND MONUMENT
- (B2) COLORBOND WALL CLADDING COLORBOND WINDSPRAY
- (C) COLORBOND WALL CLADDING MAINFREIGHT WHITE
- (D) COLORBOND ROOF SHEETING SURFMIST
- (E1) ROLLER SHUTTER/ PA DOORS COLORBOND SURFMIST
- (E2) ROLLER SHUTTER/ PA DOORS MAINFREIGHT BLUE
- (F1) EAVES GUTTER / DOWNPIPES / CAPPINGS COLORBOND WINDSPRAY
- (F2) DOWNPIPES MAINFREIGHT BLUE
- (F3) EAVES GUTTER / CAPPINGS MAINFREIGHT WHITE
- (G) BOLLARDS SAFETY YELLOW
- (H) SOLID ALUMINIUM CLADDING WHITE
- (J) SOLID ALUMINIUM CLADDING CHARCOAL
- (K) ALUMINIUM FRAMED GLAZING TINTED GREY
- (L) ALUMINIUM FRAMED COLORBACK GLAZING CHARCOAL
- (M) POWDERCOAT FINISH COLORBOND CHARCOAL
- (N) SCREEN FENCE CHARCOAL
- (P) SOLID ALUMINIUM CLADDING MAINFREIGHT RED

NO.	DATE	REVISION	BY	CHK.
P1	08.07.2021	PRELIMINARY ISSUE	TH	RJ
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	22.07.2021	TENDER ISSUE - UPDATES	TH	RJ
T3	20.07.2022	LOSP ISSUE	MM	RJ

All areas indicated are indicative for design only (drawing process only) and should not be used for any construction without verification by licensed engineer or further design development being completed.
 Watson Young Architects Pty. Ltd. (Australia) [Pty] Limited. © 2018/2020. ACN 111397939
 10 Water Street, Moorebank NSW 2170. 02 9632 2222. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
WAREHOUSE 6 -
ELEVATIONS

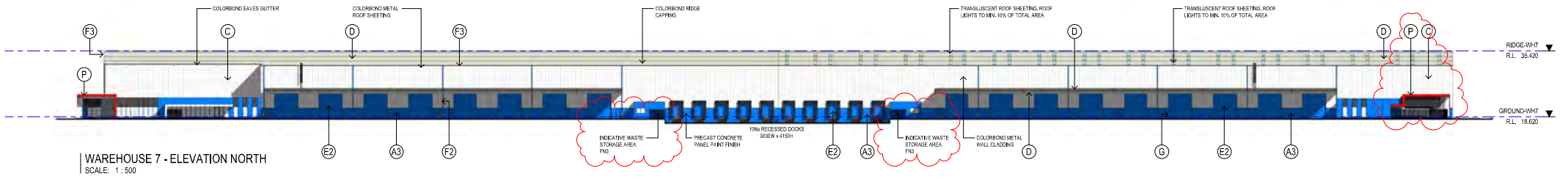


CLIENT:

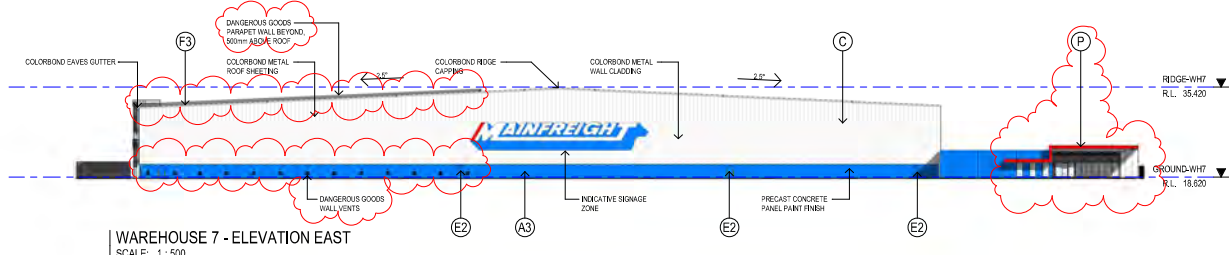
DATE: JUNE, 2021
DRAWN BY: RM
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO: 21232
DRAWING NO: DA09
REV: T3

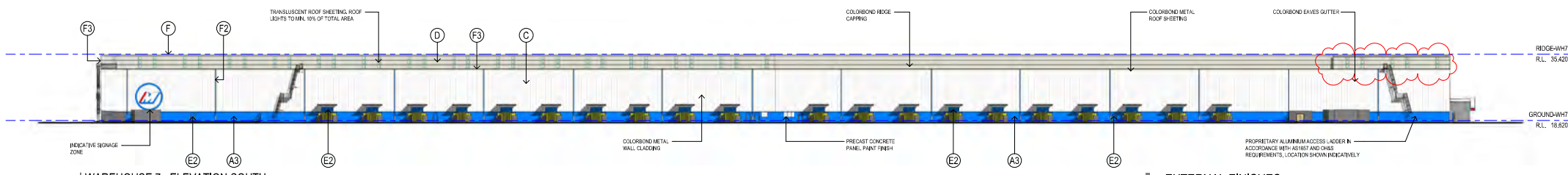




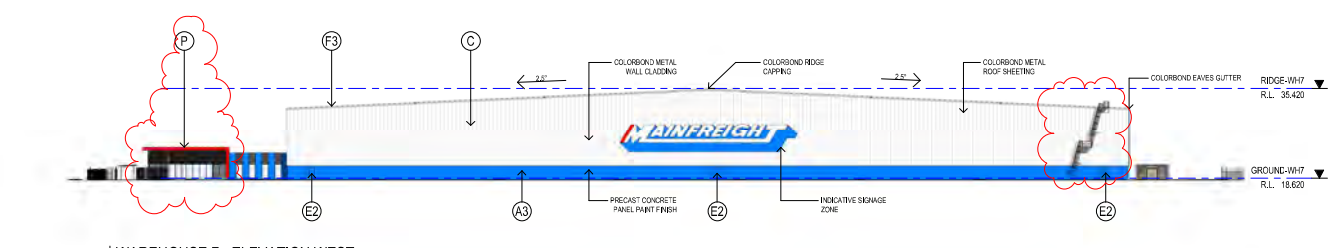
WAREHOUSE 7 - ELEVATION NORTH
SCALE: 1 : 500



WAREHOUSE 7 - ELEVATION EAST
SCALE: 1 : 500



WAREHOUSE 7 - ELEVATION SOUTH
SCALE: 1 : 500



WAREHOUSE 7 - ELEVATION WEST
SCALE: 1 : 500

EXTERNAL FINISHES

(A1)	PRECAST CONCRETE PANEL, FLAT PAINT	COLORBOND WINDSPRAY
(A2)	PRECAST CONCRETE PANEL TEXTURED FINISH	NATURAL FINISH
(A3)	PRECAST CONCRETE PANEL, FLAT PAINT	MAINFREIGHT BLUE
(B1)	COLORBOND WALL CLADDING	COLORBOND MONUMENT
(B2)	COLORBOND WALL CLADDING	COLORBOND WINDSPRAY
(C)	COLORBOND WALL CLADDING	MAINFREIGHT WHITE
(D)	COLORBOND ROOF SHEETING	SURFMIST
(E1)	ROLLER SHUTTER/ PA DOORS	COLORBOND SURFMIST
(E2)	ROLLER SHUTTER/ PA DOORS	MAINFREIGHT BLUE
(F1)	EAVES GUTTER / DOWNPIPES / CAPPINGS	COLORBOND WINDSPRAY
(F2)	DOWNPIPES	MAINFREIGHT BLUE
(F3)	EAVES GUTTER / CAPPINGS	MAINFREIGHT WHITE
(G)	BOLLARDS	SAFETY YELLOW
(H)	SOLID ALUMINIUM CLADDING	WHITE
(J)	SOLID ALUMINIUM CLADDING	CHARCOAL
(K)	ALUMINIUM FRAMED GLAZING	TINTED GREY
(L)	ALUMINIUM FRAMED COLORBACK GLAZING	CHARCOAL
(M)	POWDERCOAT FINISH	COLORBOND CHARCOAL
(N)	SCREEN FENCE	CHARCOAL
(P)	SOLID ALUMINIUM CLADDING	MAINFREIGHT RED

NO.	DATE	REVISION	BY	CHK.
T1	14/07/2021	TENDER ISSUE	TH	RJ
T2	22/07/2021	TENDER ISSUE - UPDATES	TH	RJ
T3	19/09/2021	CLIENT APPROVAL ISSUE	TH	RJ
T4	17/11/2021	CLIENT APPROVAL ISSUE	TH	RJ
T5	20/07/2022	UQP ISSUE	MM	RJ

All notes indicated are indicative for design only. Drawing process only and should not be used for any construction without verification by licensed engineer or other design professional being completed.

Watson Young Architects Pty. Ltd. (Australia) Pty. Ltd. (NZ) 0016 8995. A/CN 11139799
© Watson Young Architects Pty. Ltd. 2022. All rights reserved. www.watsonyoung.com.au
© Watson Young Architects. This drawing prepared by 2021/01/21

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
MOOREBANK AVENUE, MOOREBANK, NSW

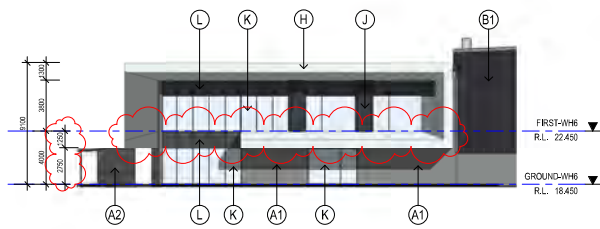
TITLE:
WAREHOUSE 7 - ELEVATIONS



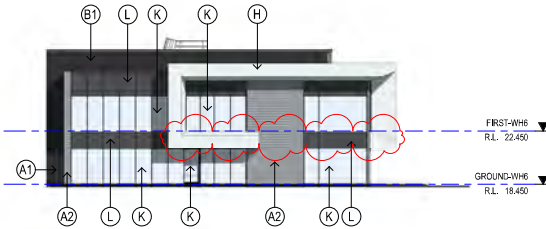
DATE: JUNE, 2021
DRAWN BY: TH
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOHN	21232
DA10	T5

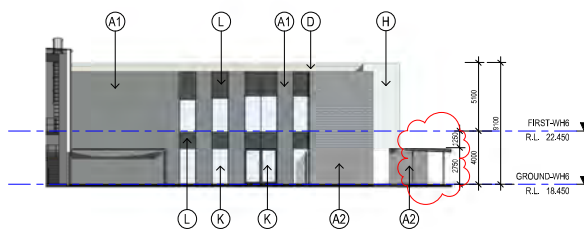




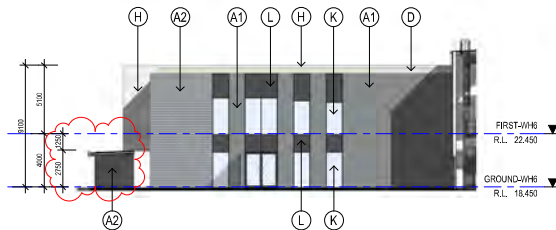
WH6 STAGE 1 - OFFICE ELEVATION EAST
SCALE: 1:200



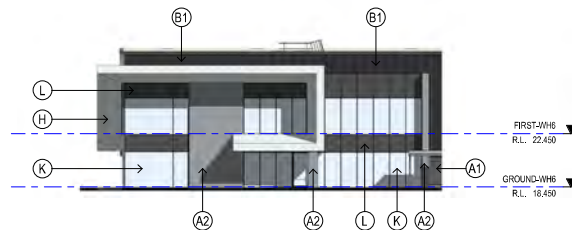
WH6 STAGE 1 - OFFICE ELEVATION SOUTH
SCALE: 1:200



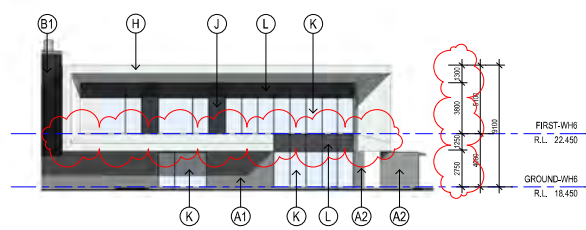
WH6 STAGE 1 - OFFICE ELEVATION WEST
SCALE: 1:200



WH6 STAGE 2 - OFFICE ELEVATION EAST
SCALE: 1:200



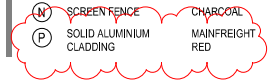
WH6 STAGE 2 - OFFICE ELEVATION SOUTH
SCALE: 1:200



WH6 STAGE 2 - OFFICE ELEVATION WEST
SCALE: 1:200

EXTERNAL FINISHES

A1	PRECAST CONCRETE PANEL FLAT PAINT	COLORBOND WINDSPRAY
A2	PRECAST CONCRETE PANEL TEXTURED FINISH	NATURAL FINISH
A3	PRECAST CONCRETE PANEL FLAT PAINT	MAINFREIGHT BLUE
B1	COLORBOND WALL CLADDING	COLORBOND MONUMENT
B2	COLORBOND WALL CLADDING	COLORBOND WINDSPRAY
C	COLORBOND WALL CLADDING	MAINFREIGHT WHITE
D	COLORBOND ROOF SHEETING	SURFMIST
E1	ROLLER SHUTTER/ PA DOORS	COLORBOND SURFMIST
E2	ROLLER SHUTTER/ PA DOORS	MAINFREIGHT BLUE
F1	EAVES GUTTER / DOWNPIPES / CAPPINGS	COLORBOND WINDSPRAY
F2	DOWNPIPES	MAINFREIGHT BLUE
F3	EAVES GUTTER / CAPPINGS	MAINFREIGHT WHITE
G	BOLLARDS	SAFETY YELLOW
H	SOLID ALUMINIUM CLADDING	WHITE
J	SOLID ALUMINIUM CLADDING	CHARCOAL
K	ALUMINIUM FRAMED GLAZING	TINTED GREY
L	ALUMINIUM FRAMED COLORBACK GLAZING	CHARCOAL
M	POWDERCOAT FINISH	COLORBOND CHARCOAL
N	SCREEN FENCE	CHARCOAL
P	SOLID ALUMINIUM CLADDING	MAINFREIGHT RED



NO.	DATE	REVISION	BY	CHK.
T1	14/07/2021	TENDER ISSUE	TH	RJ
T2	22/07/2021	TENDER ISSUE - UPDATES	TH	RJ
T3	20/07/2022	LOUPE ISSUE	MR	RJ

All items indicated are indicative for design only (drawing process only) and should not be used for any contractual reasons without verification by the relevant engineer or other design professional being completed.
 Watson Young Architects Pty. Ltd. (Mackay) Pty. Ltd. (Sydney) © 2018/2020. ACN 111387959
 10 Waterford Parkway St. 2/101 2480000 QLD 4740, Australia
 © Watson Young Architects. The drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
WAREHOUSE 6 - OFFICE ELEVATIONS

CLIENT:
 **LOGOS**

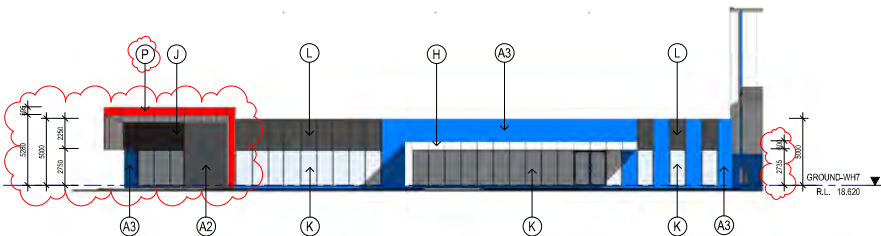
DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: 1:200 @A1
 SCALE: 1:400 @A3

JOB NO: 21232
 DRAWING NO: DA11
 REV: T3

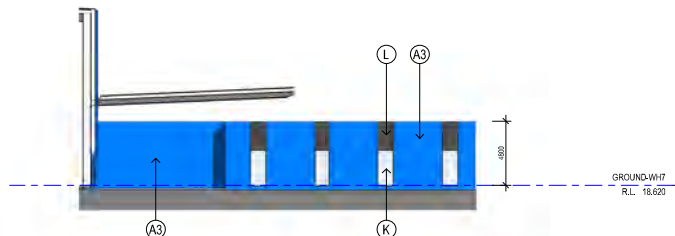
watson young

EXTERNAL FINISHES

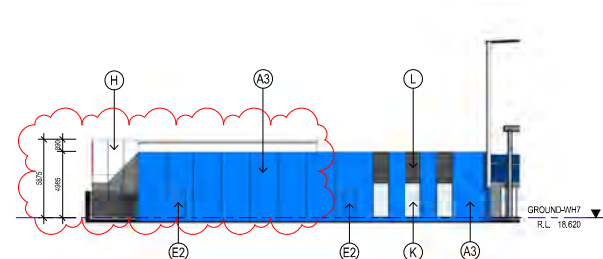
(A1)	PRECAST CONCRETE PANEL FLAT PAINT	COLORBOND WINDSPRAY
(A2)	PRECAST CONCRETE PANEL TEXTURED FINISH	NATURAL FINISH
(A3)	PRECAST CONCRETE PANEL FLAT PAINT	MAINFREIGHT BLUE
(B1)	COLORBOND WALL CLADDING	COLORBOND MONUMENT
(B2)	COLORBOND WALL CLADDING	COLORBOND WINDSPRAY
(C)	COLORBOND WALL CLADDING	MAINFREIGHT WHITE
(D)	COLORBOND ROOF SHEETING	SURFMIST
(E1)	ROLLER SHUTTER/ PA DOORS	COLORBOND SURFMIST
(E2)	ROLLER SHUTTER/ PA DOORS	MAINFREIGHT BLUE
(F1)	EAVES GUTTER / DOWNPIPES / CAPPINGS	COLORBOND WINDSPRAY
(F2)	DOWNPIPES	MAINFREIGHT BLUE
(F3)	EAVES GUTTER / CAPPINGS	MAINFREIGHT WHITE
(G)	BOLLARDS	SAFETY YELLOW
(H)	SOLID ALUMINIUM CLADDING	WHITE
(J)	SOLID ALUMINIUM CLADDING	CHARCOAL
(K)	ALUMINIUM FRAMED GLAZING	TINTED GREY
(L)	ALUMINIUM FRAMED COLORBACK GLAZING	CHARCOAL
(M)	POWDERCOAT FINISH	COLORBOND CHARCOAL
(N)	SCREEN FENCE	CHARCOAL
(P)	SOLID ALUMINIUM CLADDING	MAINFREIGHT RED



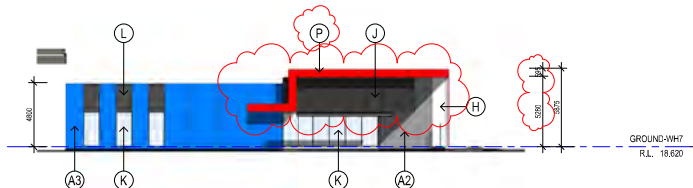
WH7 STAGE 1 - OFFICE ELEVATION NORTH
SCALE: 1 : 200



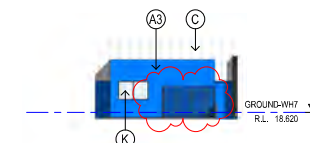
WH7 STAGE 2 - OFFICE ELEVATION EAST
SCALE: 1 : 200



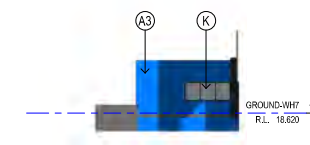
WH7 STAGE 1 - OFFICE ELEVATION WEST
SCALE: 1 : 200



WH7 STAGE 2 - OFFICE ELEVATION NORTH
SCALE: 1 : 200



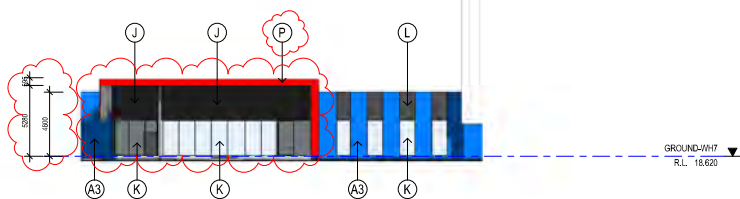
TYP. DOCK OFFICE ELEVATION NORTH
SCALE: 1 : 200



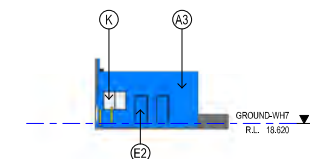
TYP. DOCK OFFICE ELEVATION WEST
SCALE: 1 : 200



WH7 STAGE 1 - OFFICE ELEVATION EAST
SCALE: 1 : 200



WH7 STAGE 2 - OFFICE ELEVATION WEST
SCALE: 1 : 200



TYP. DOCK OFFICE ELEVATION EAST
SCALE: 1 : 200

NO.	DATE	REVISION	BY	CHK.
T1	14/07/2021	TENDER ISSUE	TH	RU
T2	22/07/2021	TENDER ISSUE - UPDATES	TH	RU
T3	19/09/2021	CLIENT APPROVAL ISSUE	TH	RU
T4	20/07/2022	LOSP ISSUE	MM	RU

All areas indicated are indicative for design and planning purposes only and should not be used for any construction without verification by the relevant authority. Further design development being completed.
 Watson Young Architects Pty. Ltd. (Australia) Pty. Ltd. (Vic) (12) 0018000. ACN: 111391959
 10 Water Street, Perth WA 6000. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
MOOREBANK AVENUE, MOOREBANK, NSW

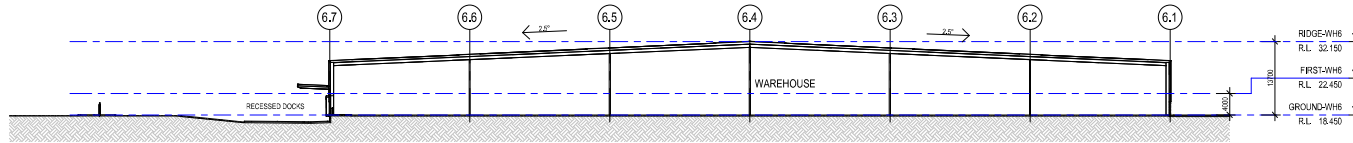
TITLE:
WAREHOUSE 7 - OFFICE
ELEVATIONS

CLIENT:
LOGOS

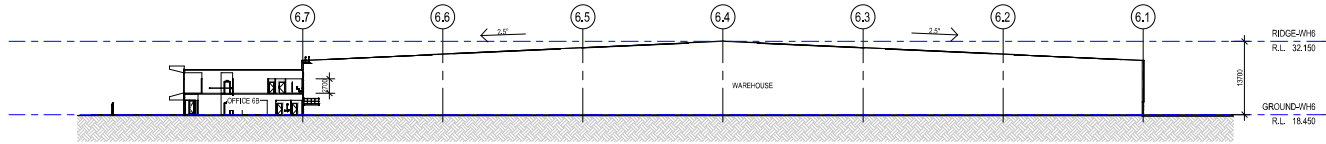
DATE: JUNE, 2021
DRAWN BY: RM
SCALE: 1 : 200 @A1
SCALE: 1 : 400 @A3

JOB NO: 21232
DRAWN TO: DA12
REVISED TO: T4

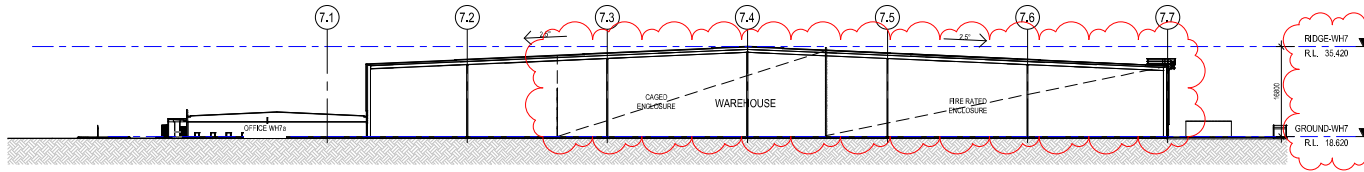
watson young



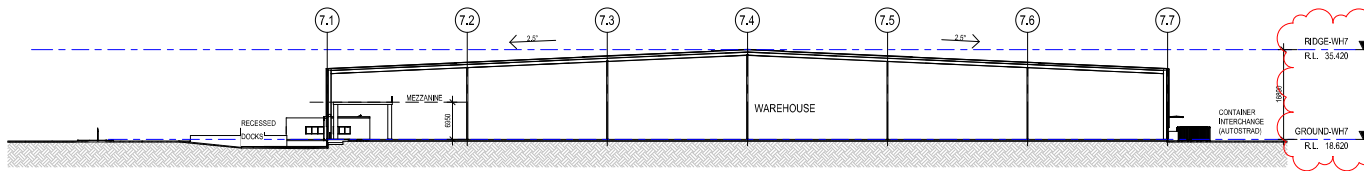
WAREHOUSE 6 - SECTION A
SCALE: 1 : 500



WAREHOUSE 6 - SECTION B
SCALE: 1 : 500



WAREHOUSE 7 - SECTION A
SCALE: 1 : 500



WAREHOUSE 7 - SECTION B
SCALE: 1 : 500

NO.	DATE	REVISION	BY	CHK.
P1	08.07.2021	PRELIMINARY ISSUE	TH	RJ
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	17.11.2021	CLIENT APPROVAL ISSUE	TH	RJ
T3	20.07.2022	LOSP ISSUE	MM	RJ

All notes indicated are indicative for design and planning purposes only and should not be used for any construction purposes without verification by a licensed engineer or other design professional being consulted.
 Watson Young Architects Pty. Ltd. Moorbank Project | Sydney | 02 9591 9900. ACN: 111398799
 10 Water Street | Pittwater NSW 1555 | 2333 2333 | www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
TYPICAL SECTIONS



CLIENT:
LOGOS

DATE: JUNE, 2021
DRAWN BY: TH
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO.	21232
DRAWING NO.	DA13
REVISED BY	T3





3D_SOUTHEAST - OVERALL
SCALE:



3DEAST - OVERALL
SCALE:

NO.	DATE	REVISION	BY	CHK.
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	18.08.2021	CLIENT APPROVAL ISSUE	TH	RJ
T3	20.07.2022	LOSP ISSUE	TH	RJ

All notes indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed engineer or other design professional being consulted.
 Watson Young Architects Pty. Ltd. (ABN 62 611 895) 1/111 Sturt Street, Moorebank NSW 2884
 © Watson Young Architects Pty. Ltd. 2021. All rights reserved. No part of this drawing may be reproduced without the prior written permission of Watson Young Architects Pty. Ltd.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
3D PERSPECTIVES 1



CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: @A1
 SCALE: NTS @A3

JOB NO.	21232
DRAWING NO.	DA14
REVISED BY	T3





3D_SOUTHEAST - WH6 STAGE 1
SCALE:



3D_SOUTHWEST - WH6 STAGE 2
SCALE:

NO.	DATE	REVISION	BY	CHK.
T1	14/07/2021	TENDER ISSUE	TH	RU
T2	20/07/2022	DDP ISSUE	MH	RU

All views indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without notification by electronic approval of the design development being completed.
 Watson Young Architects Pty. Ltd. Mooroona [Private] Office © 011 8000 3026 11138700
 10 Great Street, Perth WA 6000 www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
3D PERSPECTIVES 2



CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: @A1
 SCALE: NTS @A3

JOB NO.	21232
DRAWING NO.	DA15
REV. NO.	T2





3D_NORTHEAST - WH7 STAGE 1
SCALE:



3D_NORTHWEST - WH7 STAGE 2
SCALE:

NO.	DATE	REVISION	BY	CHK.
T1	14.07.2021	TENDER ISSUE	TH	RJ
T2	18.08.2021	CLIENT APPROVAL ISSUE	TH	RJ
T3	20.07.2022	USP ISSUE	MR	RJ

All notes indicated are indicative for design and planning purposes only and should not be used for any contractual purposes without verification by a licensed engineer or other design professional being completed.
 Watson Young Architects Pty. Ltd. (Australia) Pty. Ltd. (19) 011 8995. ACN: 111398709
 15 Under Street, Moorebank NSW 2170. www.watsonyoung.com.au
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
3D PERSPECTIVES 3



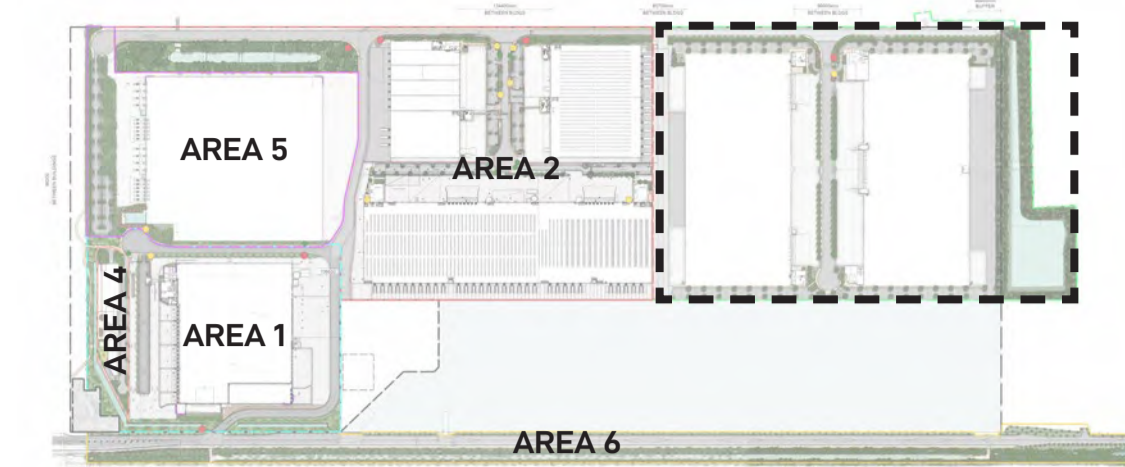
CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: RM
 SCALE: @A1
 SCALE: NTS @A3

JOB NO.	21232
DRAWING NO.	DA16
REV. NO.	T3

watson young

KEY PLAN

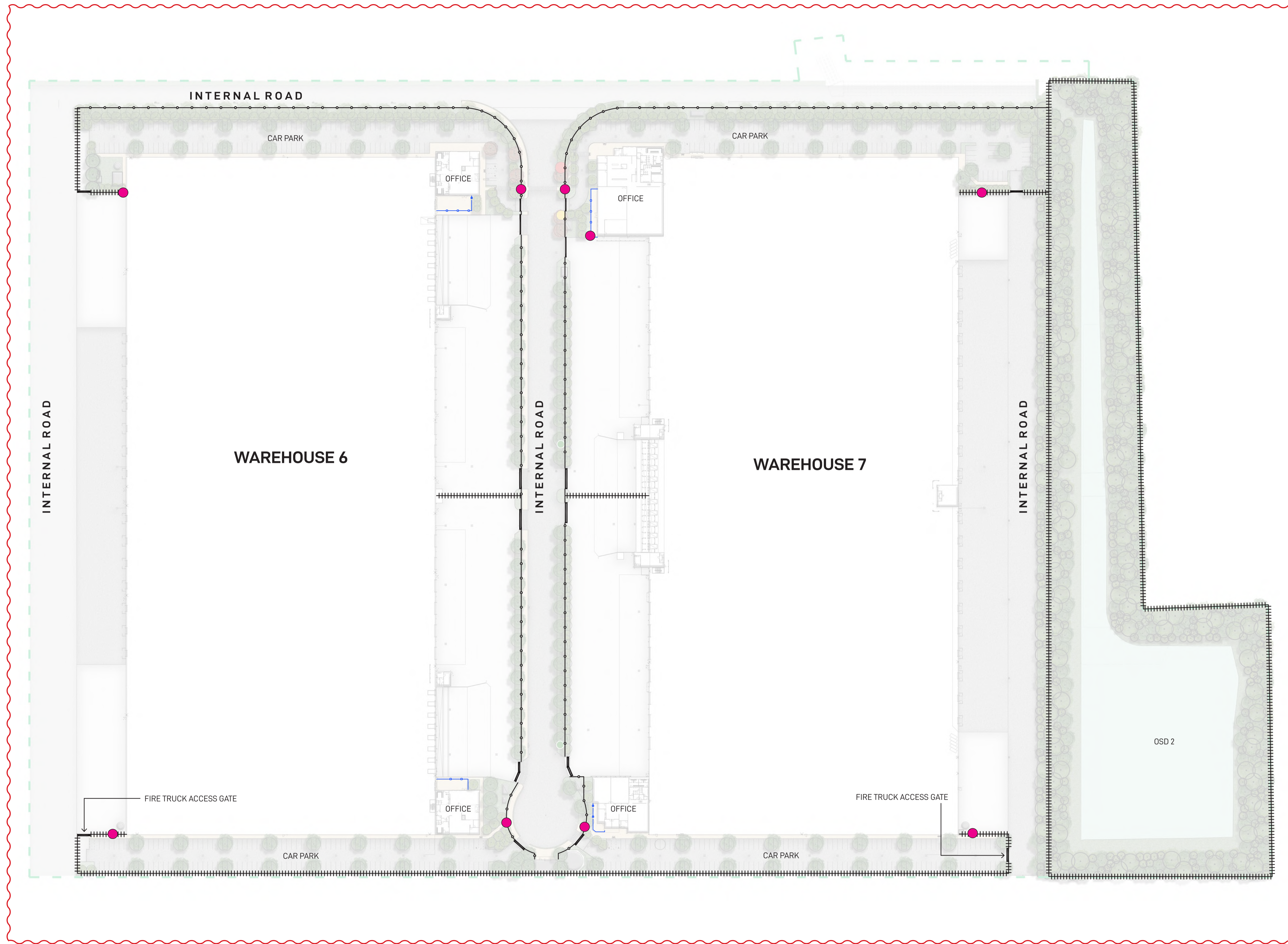


LEGEND

- Area 3 Boundary
- ||||| 3m High Perimeter Fencing
- 3m High Security Fencing
- 2.1m High Meal Break Area Fencing
- ||— Vehicular Access Gates
- Pedestrian Access Gates

NOTE

Elements shown in plans are indicative and are subject to final design



A

FOR COORDINATION

Landscape Architect
GROUND INK
 Suite 201, 75 Archer St, Chatswood NSW 2067 Ph. (02) 9411 3279
 www.groundink.com.au ABN 55 163 025 456 ACN 163 025 456
© Ground Ink Pty Ltd This design and drawing is protected by copyright.

Client
LOGOS
 29/88 Phillip Street, Sydney, NSW 2000
 Ph. (02) 81973900
 www.logosproperty.com.au

Architect
watson young
 15 Blue Street, North Sydney NSW 2060
 Ph. (02) 83290730
 www.watsonyoung.com.au

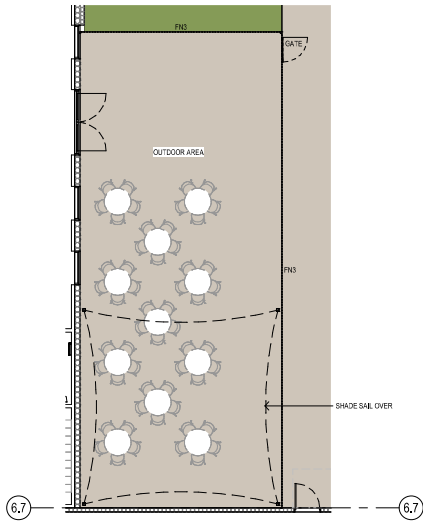
Project Manager
ASPECT
 Suite 117 / 25 Solent Circuit
 Baukhram Hills NSW 2163
 Ph. 0409 515 535
 http://aspectenvironmental.com.au/

Note
 Verify all dimensions on site before commencing work. Report all discrepancies to Landscape Architect prior to construction. Figured dimensions to be taken in preference to scaled drawings.
 All work is to conform to relevant Australian standards and other codes as applicable.
 Location of underground services to be proven on site and protected if necessary prior to construction. Dial before you dig.
 Plant species and quantities shown are indicative only and are subject to change based on future project requirements.

Issue	Date	Description	Drawn	Checked
A	07.07.22	Issue for Coordination	WL	RL

Drawing Title
**AREA 3
 LANDSCAPE FENCING PLAN**

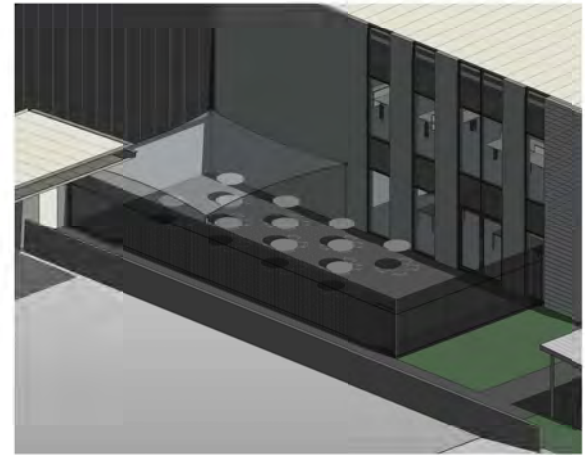
Date	Job Number	Drawn	Checked	Drawing Number	
07.07.22	20200421	WL	RL	MPE2-GNK-LN-DWG-3004	
Project Moorebank Precinct East Moorebank Logistics Park, Moorebank NSW					
Scale 1:1000 @ A1					
0	5	10	15	20	25m
North Rev A					



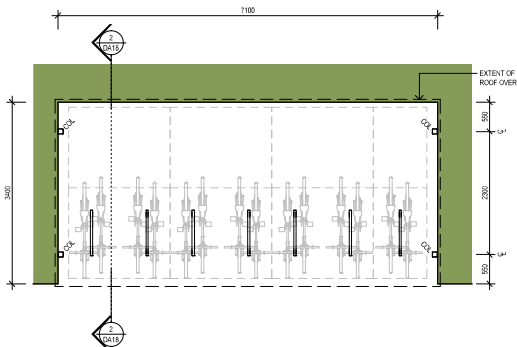
PLAN - OUTDOOR AREA
SCALE: 1:100



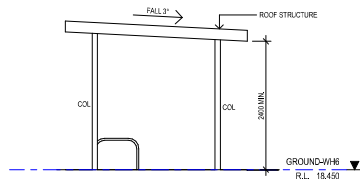
ELEVATION - OUTDOOR AREA
SCALE: 1:100



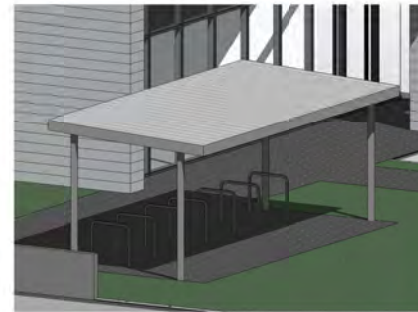
3D VIEW - OUTDOOR AREA
SCALE:



PLAN - BIKE RACKS
SCALE: 1:50



SECTION - BIKE RACKS
SCALE: 1:50



3D VIEW - BIKE RACKS
SCALE:

NO.	DATE	REVISION	BY	CHK.
T1	20.07.2022	UDLP ISSUE	MM	RJ

All notes indicated are indicative for design and planning purposes only and should not be used for any contractual purposes without verification by a licensed engineer or other design professional being consulted.
 Watson Young Architects Pty. Ltd. (Mackay) [Private] © 2018-2022. ACN 111387859
 11 Water Street Mackay QLD 4740
 © Watson Young Architects. This drawing is protected by copyright.

PROJECT:
MPE LOGOS WAREHOUSE DEVELOPMENT
 MOOREBANK AVENUE, MOOREBANK, NSW

TITLE:
EOMBA AREAS & BIKE RACKS DETAILS



CLIENT:
LOGOS

DATE: JUNE, 2021
 DRAWN BY: MHH
 SCALE: 1:100 & 1:50 @A1

JOB NO.	21232
DRAWING NO.	DA18
REVISION	T1

